

TOOTING BEC LIDO

SW16 1RU

DESIGN & ACCESS STATEMENT
MAY 2023

WRAP



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7.1 Conclusion

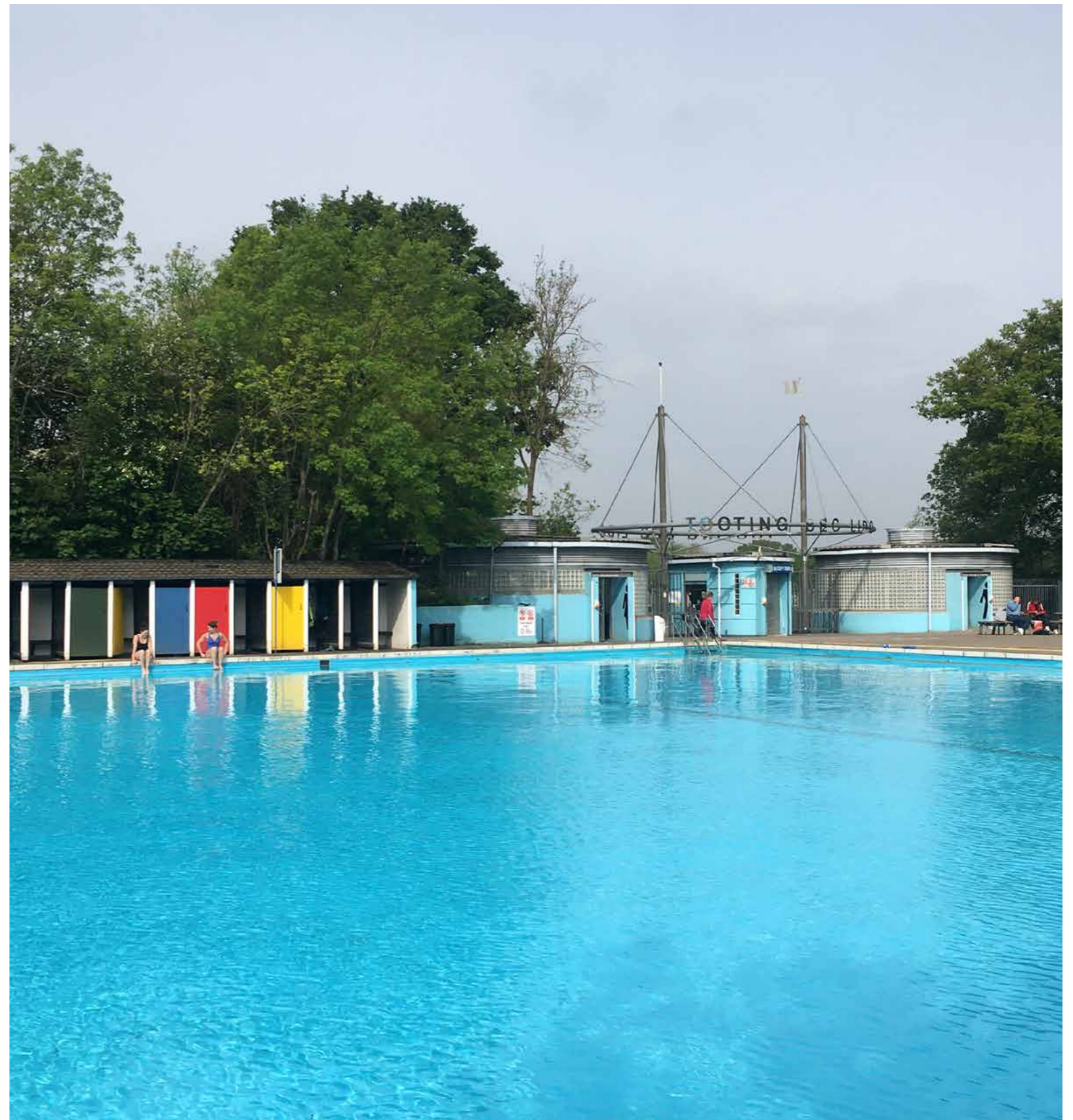
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DOCUMENT HISTORY

DOCUMENT HISTORY

DOCUMENT NAME	Design and Access Statement
Job Number:	22007
Document Reference:	22007-WR-AP-RPT-A-9500

VERSION	PURPOSE	CREATED BY	CHECKED BY	DATE
P01	For planning	AH	MR	XX.XX.XX



Existing entrance facilities at Tooting Bec Lido

INTRODUCTION

EXECUTIVE SUMMARY

SUMMARY

This document has been prepared to support the planning application for proposed ancillary facilities at Tooting Bec Lido, comprising the demolition of the existing male and female changing blocks and entrance/reception, refurbishment of the existing café building and demolition and re-provision of storage/family change/showers and WCs on the eastern edge of the site. The application relates to a wider programme of works, seeking to complement the Lido regeneration works which began in 2017 with the new pavilion building at the deep end of the pool, and the new pump house which began construction in 2023.

In April 2022, a design team consisting of WR-AP Architects, mstep, White and Lloyd and Studio Allen, won a competition organised by the South London Swimming Club (SLSC) to re-imagine the entrance and changing facilities at Tooting Bec Lido which are currently in a poor condition and no longer cater for the evolving needs of lido users. This proposal is submitted by WR-AP Architects on behalf of the SLSC.

“All facilities have to be kept fit for purpose and decades have passed since the Lido’s amenities were considered in the round. With ageing infrastructure it’s clear that both the quality and number of toilets and showers was insufficient. Additionally, there is insufficient provision for less able swimmers who need help in order for them to fully enjoy their swim. Furthermore, the wider requirements of families, different genders and religion enjoying the pool together needed to be taken into account. By considering the full requirements of all users whilst maintaining a sustainability mindset has enabled the team to compile a broad brief of requirements that has been the foundation of this project” - SLSC

The purpose of this report is to discuss the site at hand and to detail how the proposal has evolved overtime, accommodating the applicant brief and feedback from extensive consultation with the local community, stakeholders and the London Borough of Wandsworth planning department.

Overall, through listening to local voices, the proposal seeks to improve Tooting Bec Lido for swimmers and simultaneously provide general benefit to the wider community through improved architecture and improved amenity.



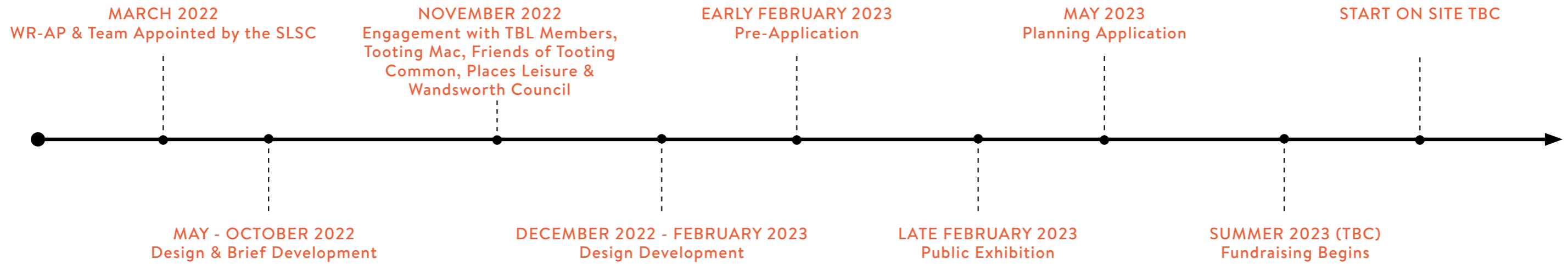
WHITE & LLOYD



Photograph from the pool towards the existing café

TIMELINE

The timeline below shows key dates across the programme so far and our route to planning.



THE SITE

INTRODUCTION

EXISTING AERIAL PHOTOGRAPH WITH SITE BOUNDARY



CONTEXT





GENERAL LOCATION

Dating back to 1906, Tooting Bec Lido is the largest fresh water outdoor swimming pool in the UK. The pool itself is 91 metres long x 30 metres wide and holds 1million gallons of unheated water. The overall site is approximately 11,200sqm, including a grassy meadow area to the north. The Lido is located on the south eastern boundary of Tooting Common between Tooting and Streatham in the London Borough of Wandsworth. It is an iconic destination, popular with the local and wider community, attracting over 2500 people a day during the height of summer in 2022. The site is situated in the new South Balham Ward of the Borough (formerly the old Bedford Ward) and the CIL neighbourhood of Balham. The Lido is adjacent to the Garrads Road Conservation Area, and to the south is the Streatham Common Conservation Area. The locally listed site is on Metropolitan Open Land (Tooting Bec/ Graveney Commons) and it is recognised by the Local Planning Authority as a non-designated heritage asset. The Common is also an Archaeological Priority Area.



THE BOROUGH OF WANDSWORTH & SOUTH BALHAM WARD

KEY

-  - Indicative Site Boundary
-  - Metropolitan Open Land and Archaeological Priority Area
-  - Conservation Area
-  - Locally Listed Buildings



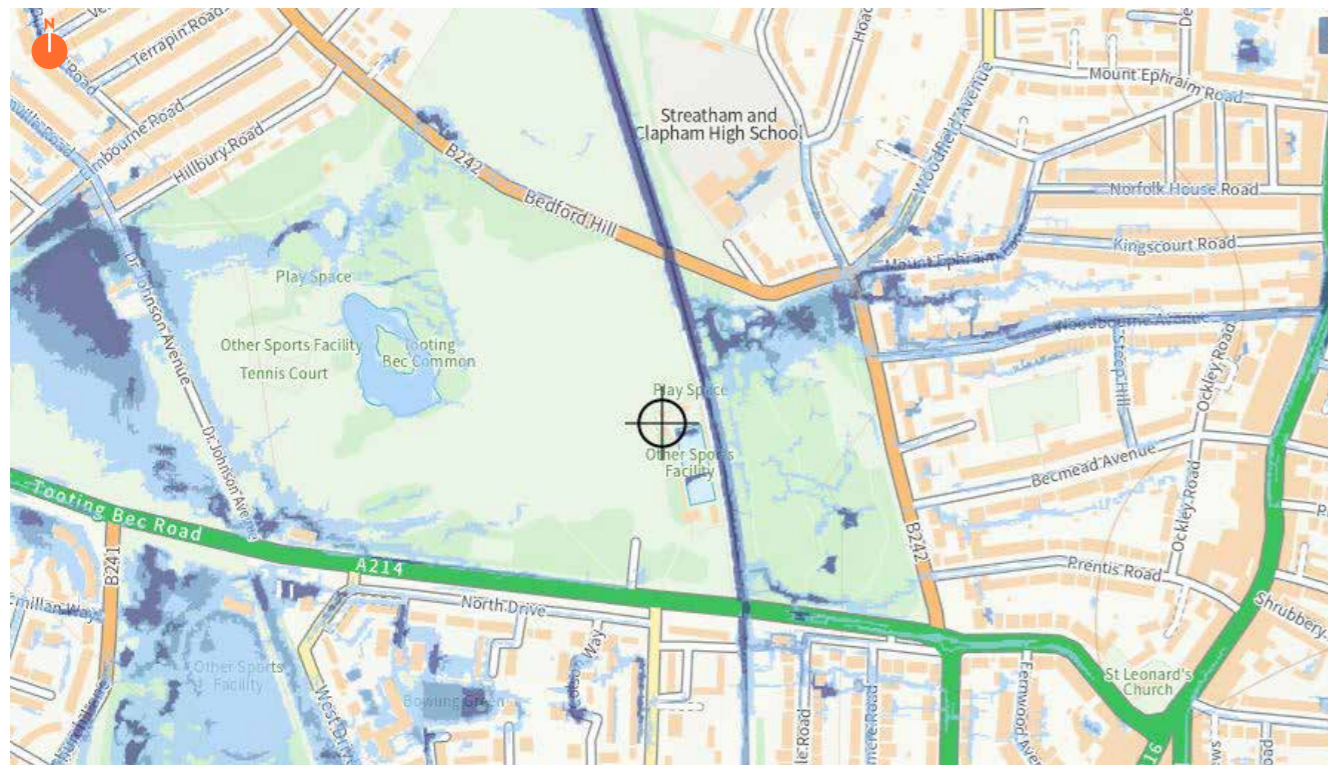
CONTEXT

FLOOD RISK

The adjacent map shows that the Lido site falls within Flood Zone 1, meaning it is an area with a low probability of flooding from the sea or rivers. Meanwhile, the site is at some risk of surface water flooding (or, flash flooding).






Part of the site falls within a critical drainage area. The proposal within this area is for shower, WC and storage cubicle facilities and will be of a similar construction to the existing changing facilities built in this zone across this boundary of the site. As part of the proposal, WCs will be flushed with stored grey water from the showers which will help to mitigate drainage risk on site. Moreover, the drainage strategy has been co-ordinated with the drainage works taking place on site as part of the pump house works.

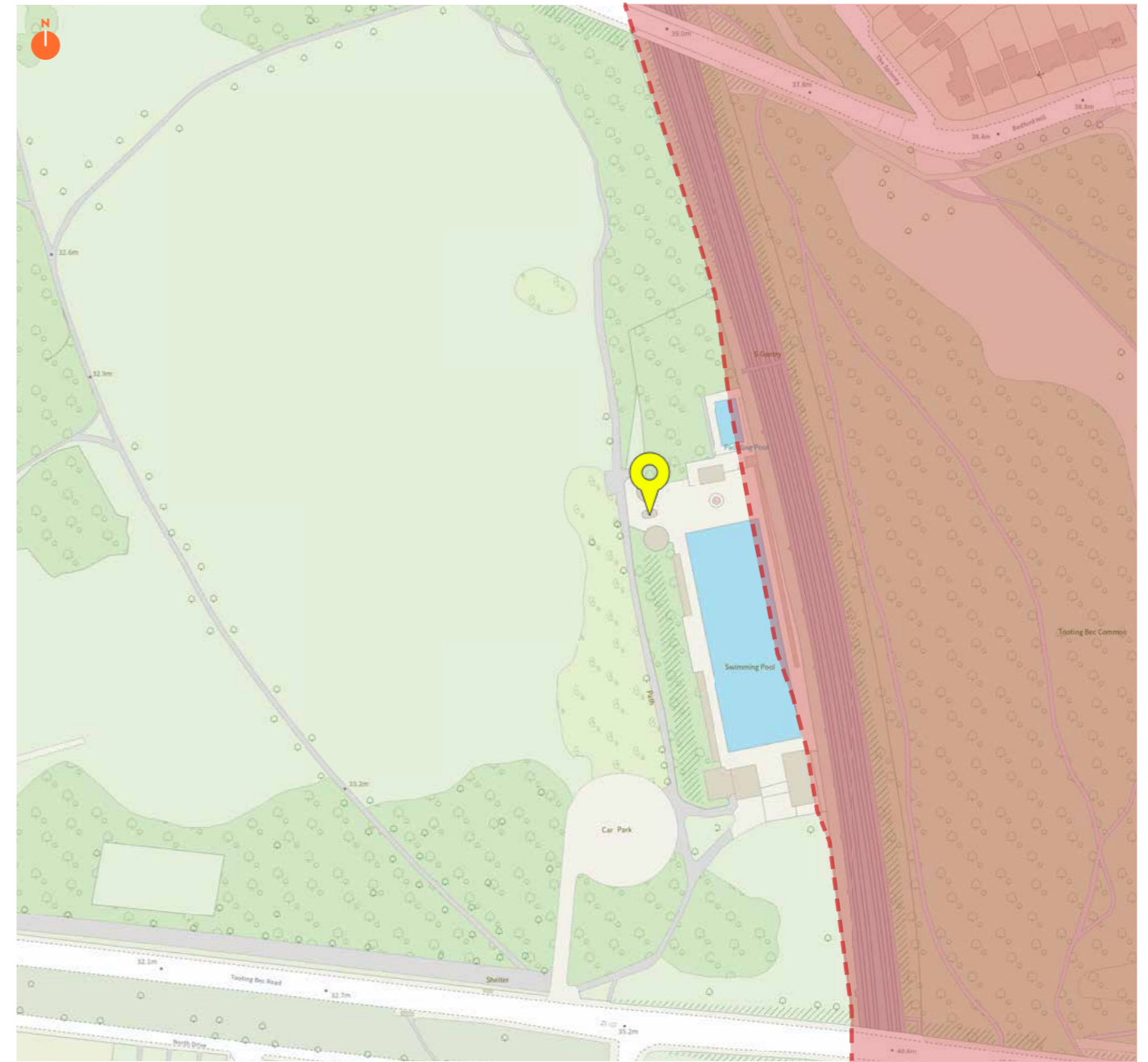
A Flood Risk Assessment has been submitted as part of this application.



Source: Surface water flood risk - The Environment Agency



KEY

-  - Location
-  - High
-  - Medium
-  - Low
-  - Very Low



Source: Flood Map - The Environment Agency

KEY

-  - Location
-  - Critical Drainage Area

CONTEXT

LOCATION

The unheated pool is orientated along its longest length from north to south, with the shallow end and existing entrance located to the north. The faux art deco existing entrance (including changing and toilet facilities) were built in 2002, but the facilities have become tired and insufficient over the past 20 years. Nonetheless, the shallow end remains as the social heart of the Lido.

To the west of the site is Tooting Common which is approximately 90 hectares in size. The Common is utilised by the public for recreational activities such as football and cricket. The Metropolitan Board of Works acquired rights to the Common in the late 1800s under the 1866 Metropolitan Commons Act and today is in the hands of the London Borough of Wandsworth.

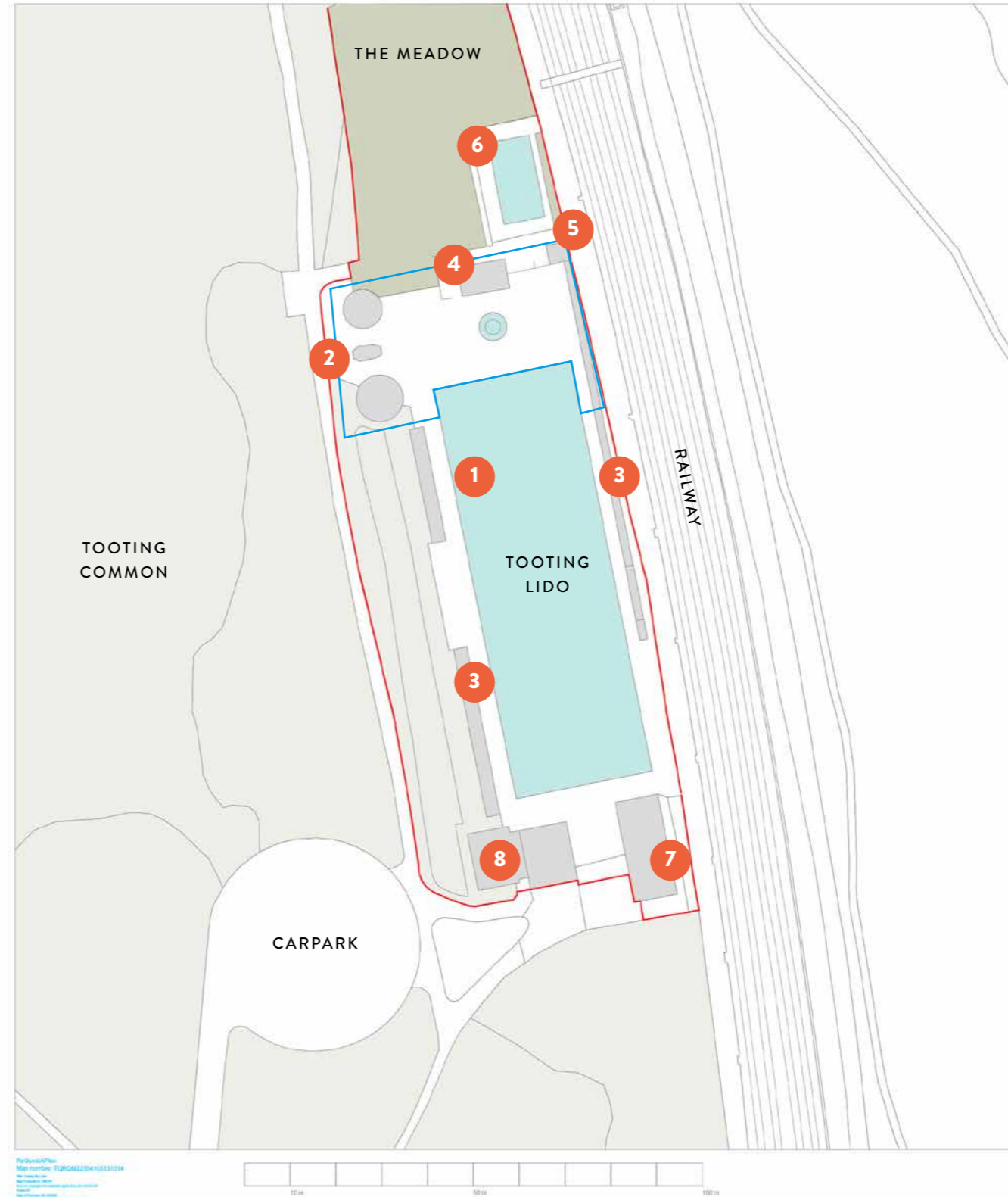
To the east of the site is a stretch of mainline Southern Rail railway. A metal railing around the pool provides security. It was a condition imposed at the time of construction that the pool be screened from Tooting Common by a mound of earth/woodland around its 3 exposed sides. The mound on the western boundary remains today.

The site currently houses a new pavilion building to the south (completed in 2017), colourful cubicles which surround the pool, a café, an aeration fountain, a Pump Room (replaced in 2023), a sauna, a learner pool with adjacent grass meadow, the art deco style entrance/changing facilities and the pool itself. There is scope to approach this project as a phased masterplan to significantly improve overall architectural cohesion, the experience of swimmers and interaction with the common.

The pool itself is limited to 250 swimmers due to the numbers of lifeguards. On hot sunny days the Lido expects to see around 2,500 people a day, with many using the grassy meadow or surrounding paved pool edge for sunbathing. In the winter, the pool is closed to the public and solely used by SLSC members who enter next to the pavilion on the southern end of the pool.

To the south of the Lido is the Lido carpark, a circular carpark with capacity for around 60 cars. This is accessed via Tooting Bec Road (A214) which runs east to west to the south of the Common. Tarmac pathways connect pedestrians to the entrance of the Lido.

MAP REFERENCE: TQRQM22354105131014
CROWN COPYRIGHT AND DATABASE RIGHTS 2022 OS 100042766
DATE OF PURCHASE: 20-12-2022



- = Indicative planning boundary
- = Indicative site boundary
- 1** = The pool
- 2** = Entrance / changing buildings
- 3** = Changing cubicles
- 4** = Cafe
- 5** = Sauna
- 6** = Learner pool
- 7** = Pump house
- 8** = Pavilion

Existing location plan - 1:1250

CONTEXT



Aerial view of the site - Source: Google Earth

CONTEXT

SITE PHOTOS

The adjacent site photographs show the existing condition of the wider site.



1. The existing entrance from the Common



2. The entrance building and turnstiles



3. Existing entrance and changing facilities and paved area

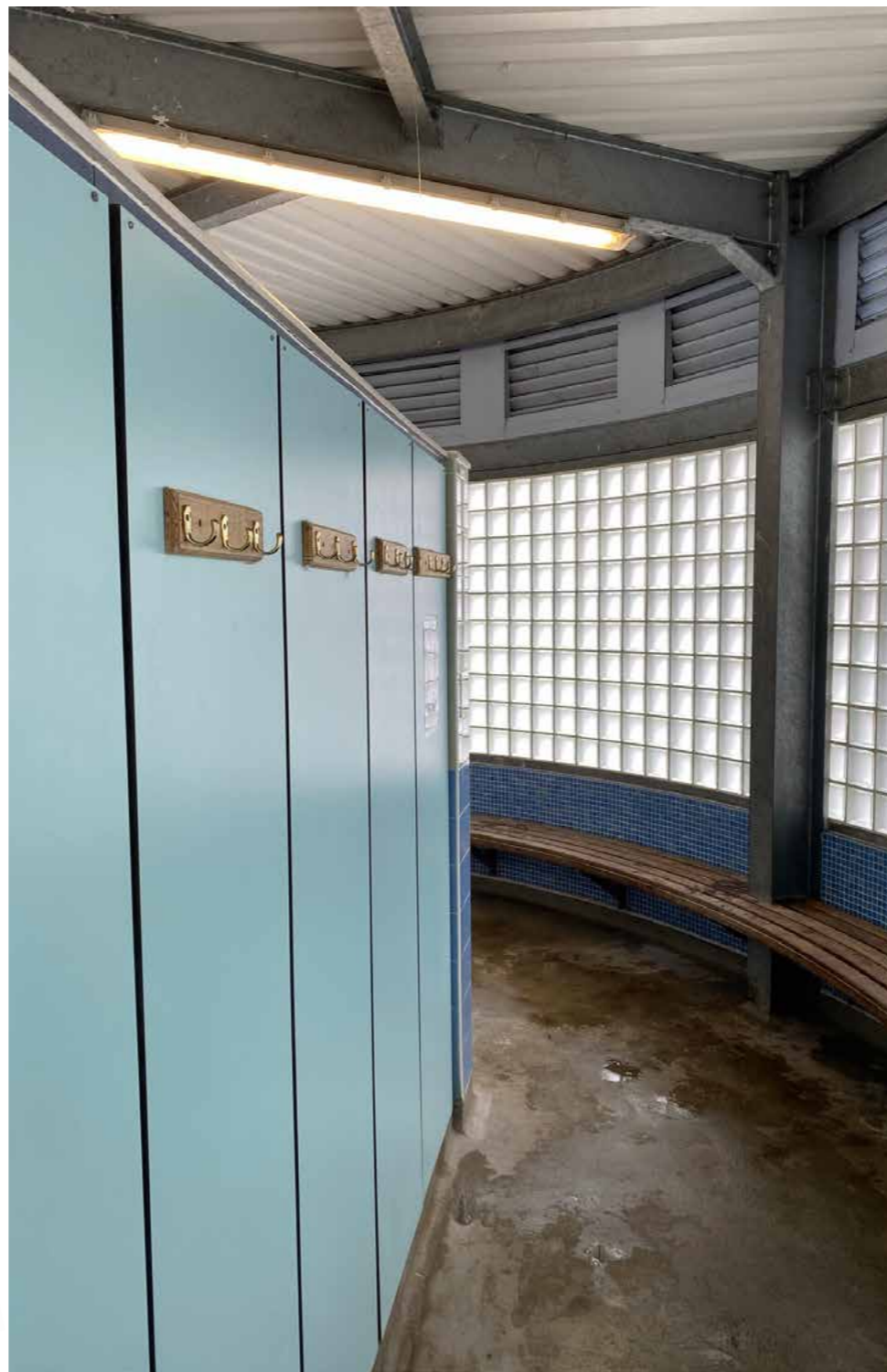


4. The entrance facilities from the east of the pool

CONTEXT

SITE PHOTOS

The adjacent site photographs show the existing condition of the wider site.



1. Condition of the existing changing facilities



2. Condition of the existing showers

CONTEXT

SITE PHOTOS

The adjacent site photographs show the existing condition of the wider site.



1. The existing learner pool



2. The grassy meadow



3. The grassy mound of woodland screening the pool



4. The changing cubicles and terrace

CONTEXT

SITE PHOTOS

The adjacent site photographs show the existing condition of the wider site.



1. The existing sauna (to be relocated)



2. Looking south towards the pump room and pavilion



3. The rear of the pavilion



4. Looking north to the existing café from the pool

CONTEXT

SITE PHOTOS

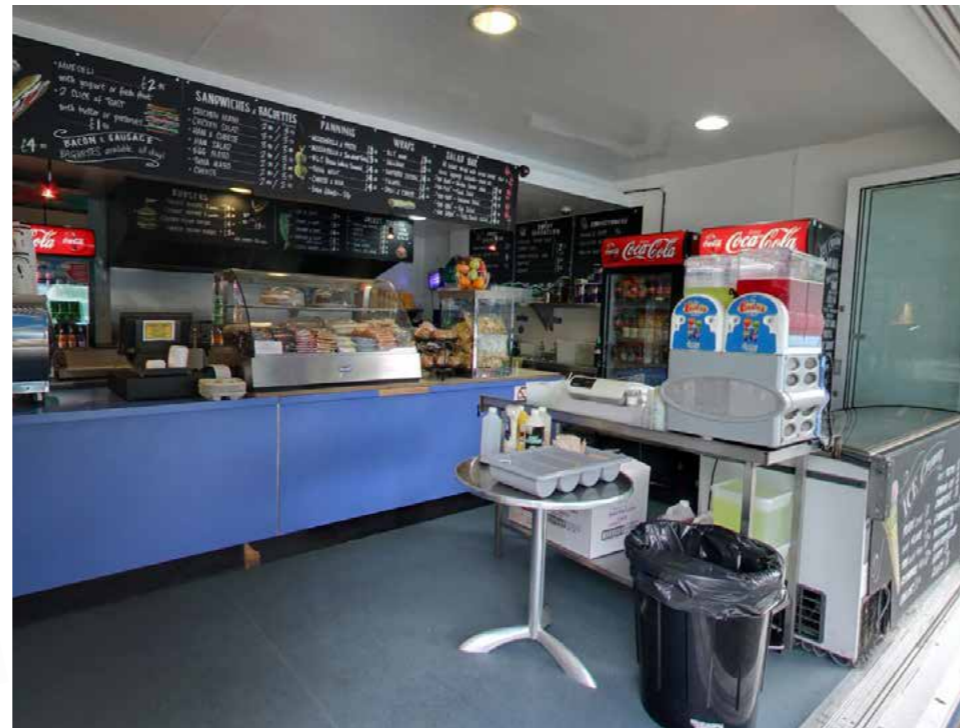
The adjacent site photographs show the existing condition of the wider site.



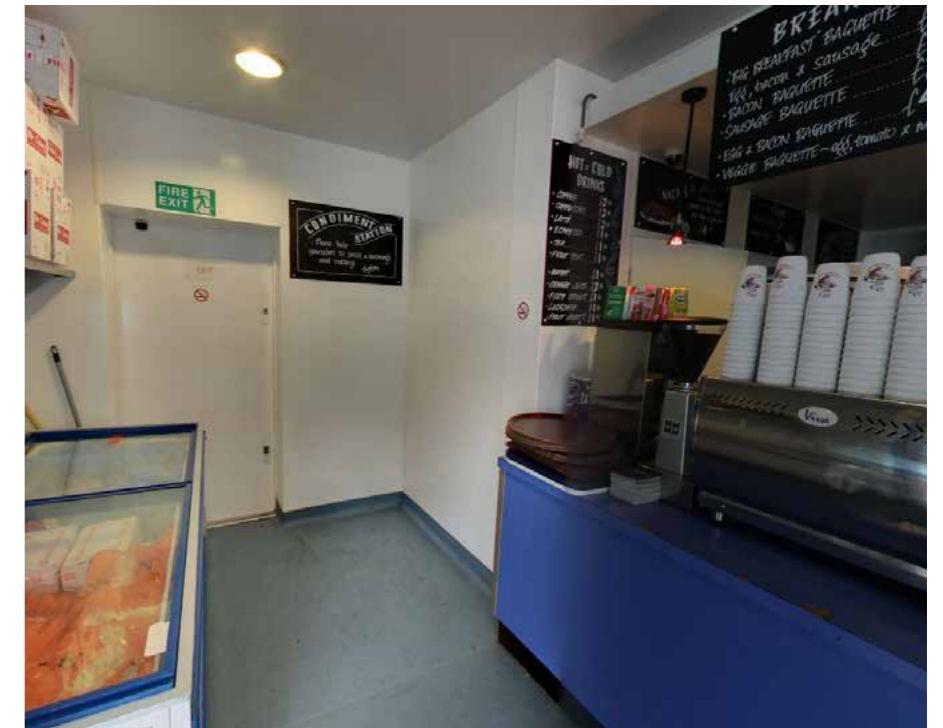
1. Front of the existing café building



2. Rear of the existing café building



3. Inside the existing café building



4. Inside the existing café building

HERITAGE STATEMENT

SITE HISTORY

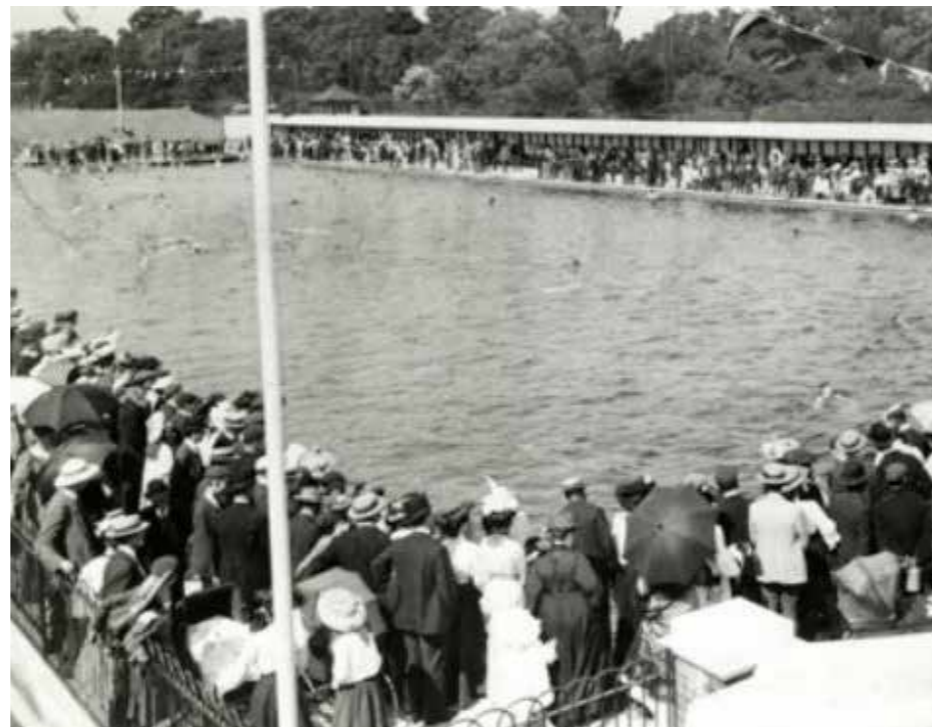
Paragraph 194 of the NPPF states: “In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance...”. We have therefore sought to identify the historical assets at Tooting Bec Lido to inform our design. Increasingly, it should be noted that the site is Locally Listed thus we recognise that any proposal should be sensitive to the context at hand.

Tooting Bec Common was acquired by the Metropolitan Board of Works in 1837, preventing significant development from taking place across the Common and reducing the open green space. The Lido, or as it was known at the time, the Tooting Bathing Lake, dates back to 1906 and was originally built in 4 months by unemployed men in the local area, after being commissioned by Reverend JH Anderson. The tank itself was lined with bituminous sheeting to make it watertight then covered in slabs of Portland cement. The South London Swimming Club (SLSC) were formed this same year and continue to work closely with the London Borough of Wandsworth and their leisure provider Places Leisure to ensure that the pool remains a viable and a valued resource within, and for, the community.

The earliest structure on site was the original entrance building situated on the southern deep end of the pool, consisting of 3 brick arches with a curved retaining wall. Wooden changing shelters were also constructed along the Railway side of the Lido. During this time, the ‘Lake’ was utilised as a local communal bath. Reports from the time suggest ‘the water was so dirty you couldn’t see the bottom....sludge squelched between your toes when you put your feet down!’



Construction of the Lido (image courtesy of Ron Elam)



Opening ceremony at Tooting Bathing Lake in 1906 (image courtesy of London Metropolitan Archives)



The original entrance, circa 1912 (image courtesy of Ron Elam)

HERITAGE STATEMENT

In the 1930s the entrance building was extended with the addition of toilet blocks on both sides. Meanwhile, the hygiene situation was significantly improved, with filtration introduced on site through the construction of the brick pump house alongside the aeration fountain. This improved hygiene paved the way for mixed bathing to be allowed at the Lido and it was during this era that the Tooting Bathing Lake became Tooting Bec Lido.

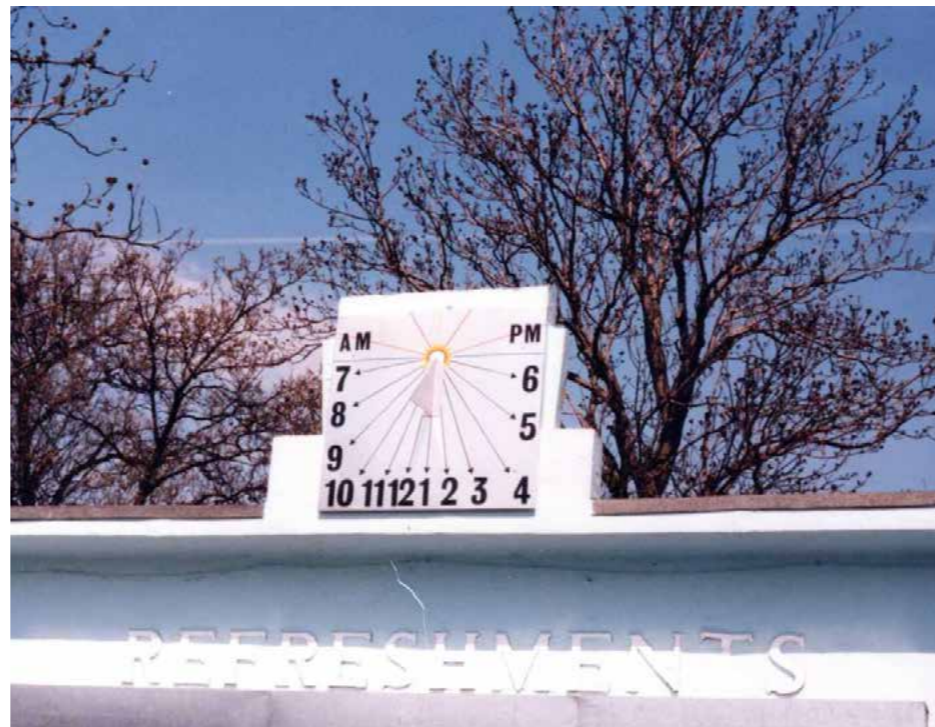
In 1935, further development took place, including the development of the café building behind the fountain and cubicle doors around the pool. Originally painted green these doors acquired their bright blue, red, green and yellow colours in 1981. These cubicles remain iconic and are still in popular use today, whilst the café and the fountain have the highest aesthetic design value of the remaining historic on-site buildings. Towards the south end of the railway side, the cubicles end and make way for the ever popular sunbathing terrace.



1937s Aerial view (image courtesy of Aerofilms Ltd.)



The café and fountain from the south (image courtesy of SLSC/Julia Clarke)



The café sun dial (SLSC History Hub)

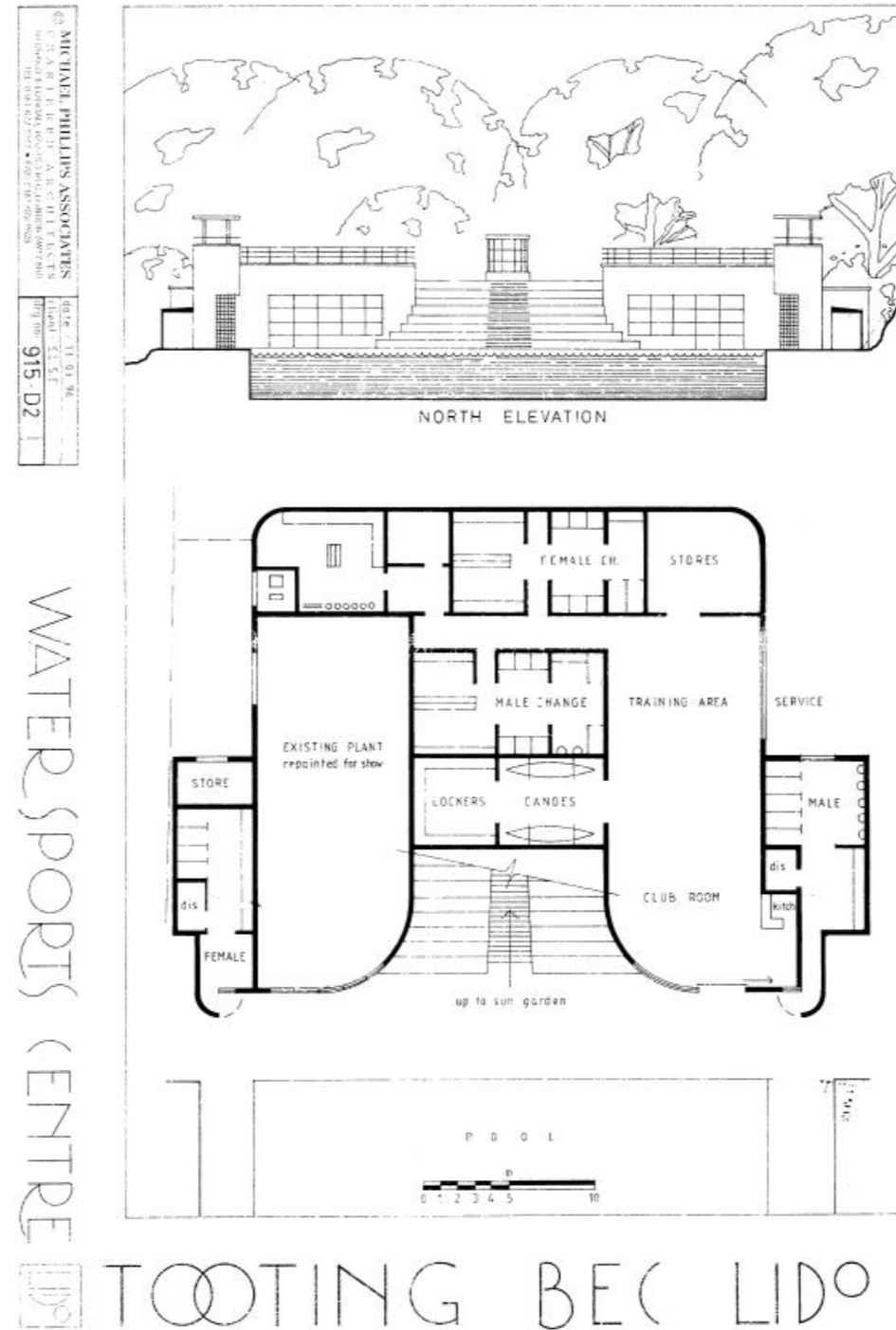


Cubicles, 2009 (image courtesy of Keiran Doherty)

HERITAGE STATEMENT

The 80s and 90s saw a period of threat to Lidos across the UK, but due to campaigning by the SLSC, the pool survived closure and the operational management of the pool was revised. In recent years, the Lido has become increasingly popular, hosting sports competitions. Consequently, there were proposals in the late 90s to redesign the old entrance and transform it into a water sports building, however, this was not realised. Instead, the new art deco style cylindrical entrance and changing facilities (designed by William Martin and Partners) were adopted and built in 2002, shortly after the construction of the learner pool in 1999. The two circular buildings feature azure blue render on brick cavity walls with glass block elements. The roof is a proprietary aluminium standing seam system. In the centre is a small reception building, with entrance gates and turn-styles. The signage was installed to evoke a seaside aesthetic. Internally, the larger circular block houses female changing, WCs and showers as well as baby changing and an accessible WC. The smaller block provides showers, WCs and changing for men. During the winter, the pool is closed to the public but remains open to SLSC members. They enter during the deep end entrance during these months. As part of this proposal, these entrance buildings will be demolished as they have reached the end of their life.

Also on site is a popular member's sauna gifted to the SLSC by Finland, marking the World Winter Swimming Championships in 2008.



Unrealised application for a sports centre at the Lido in the 1990s



Entrance building in 2023



Entrance building under construction in 2002

HERITAGE STATEMENT

In 2013, an application was submitted by David Gibson Architects to reimagine the deep end redundant entrance facilities and the proposal was constructed in 2017. The original entrance and toilet block was demolished and replaced by a pavilion building, featuring a flexible community/sports hall which accommodates a diverse range of uses such as exercise classes. Further facilities in this building include a kitchenette for lifeguards, office and staffroom for lifeguards, WCs and a first aid room. In addition to this new structure, a viewing terrace was constructed along the Common edge of the pool, painted in the azure blue seen elsewhere at the Lido. This development was funded by the SLSC, Sports England, The Heritage Fund and the London Borough of Wandsworth.

Materially, the pavilion features azure blue render, galvanized steel colonnades and a green roof. The external face of the building features blue and green glazed bricks, a nod to glazed bricks utilised on the former entrance building.

The next phase of development at the Lido is the replacement of the 1930s pump house which is structurally failing. Construction is currently underway for a new pump house, featuring brickwork and tiled murals, as well as surface works across the site.

Overall, the lido presents an array of buildings each of which reflect its history and all contribute to the narrative of the site. Inevitably priorities and functions change and our emerging proposals seek to respond to the needs of current and future users whilst respecting the qualities acknowledged in the local listing. In this way the proposal use the existing architectural language of the site to create a coherent and elegant development.



Proposed pump house visualisation (construction is in 2023)



External face of the pavilion



Internal face of the pavilion

HERITAGE STATEMENT

There are a number of heritage assets in the surrounding area which we have assessed will not be visually impacted by our proposal, including: the Heaver Estate Conservation area, Streatham park conservation area and locally listed buildings along Garrad's Road and Tooting Bec Road. This is due to the low massing proposed, existing woodland mound surrounding the pool and extensive trees/foliage surrounding the proposal.

Though the site itself does not lie within a conservation area, it sits within the setting of Garrad's Road conservation area. There is possibility that there would be minor/marginal visibility from the Garrad's Road conservation area's western boundary, however, the impact will not be significant given the railway line cutting between, extensive woodland, scale of development and low density of the proposal. Further, it is likely that the proposals material palette and form will have less impact than the existing bright blue circular buildings currently situated on site.

We understand conservation areas in the Borough are currently under review. Should the Garrad's Road conservation area be extended to include the Lido, the design will be intended to be subordinate and sensitive to the surrounding context. The reason for the proposed demolition of the existing changing and entrance buildings will be discussed in following chapter of this Design and Access Statement. It is for this reason also that we have included a full record of the existing buildings and proposed demolition as part of this planning application and within appendix 01 of this report.

KEY

— - Indicative Site Boundary

— - Metropolitan Open Land and Archaeological Priority Area

— - Conservation Area

★ - Locally Listed Buildings

● - Density of woodland reducing visual impact of proposal from Locally Listed Buildings / Conservation Areas

— - Line of site from Locally Listed buildings on Tooting Bec Road



HERITAGE STATEMENT

SCHEME ASSESSMENT AGAINST LEGISLATION AND POLICY

The Planning (Listed Buildings and Conservation Areas) Act 1990

The Act sets out regarding applications for planning permission within conservation areas, that:

“s.72(1) In the exercise, with respect to any buildings or other land in a conservation area, of any powers under any of the provisions mentioned in subsection (2), special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area.” As the site does not sit within a conservation and seeks to have a neutral impact on the adjacent conservation areas, it is not relevant in this instance.

National Policy – NPPF and NPPG

In line with Paragraph 194 of the NPPF, the significance of the potentially affected heritage assets has been outlined within this Heritage Statement, including any contribution made by setting to the significance of the identified heritage assets. Furthermore, the scheme proposals have been assessed as likely to have a neutral impact on the significance of the Garrad’s Road Conservation Area via setting, and a neutral impact on the significance of the Streatham Park Conservation Area via setting.

The scheme would also cause a low degree of harm to the significance of the Tooting Bec Lido as being a Non Designated Heritage Asset and Locally Listed. Accordingly, NPPF Paragraph 203 applies, which states: “The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.” This reports sets out the public benefits to consider as part of this weighing exercise. One of the public benefits is significantly improving the infrastructure of the pool and futureproofing it by increasing the number of facilities and creating a more inclusive scheme.

Where demolition of historic buildings is concerned, Paragraph 205 of the NPPF is relevant. Paragraph 205 states: “Local planning authorities should require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate

to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible. However, the ability to record evidence of our past should not be a factor in deciding whether such loss should be permitted.” As part of this application we are seeking to demolish the existing 2002 changing facilities. Planning Officers did not show concern regarding the demolition of these buildings within their Pre-Application response *“The twin buildings house the showers and have no function in terms of the entrance to the site. These date from the early 2000s and are of no historic or architectural interest. They would not be seen as contributing to the level of architectural or historic interest which has earned the lido locally listed status”*.

A building that is of historic significance is the 1930s cafe building which, as our design proposal chapter explores (chapter 5), will be sensitively refurbished and extended, as Planning Officers supported *“The café building dates from the 1930s and is considered to contribute to the site’s historic interest. It is quite a plain building and has suffered from some inappropriate alterations such as a roller shutter and housing. The introduction of Crittall doors would be appropriate and attractive in the context of the building’s age and style”*. Chapter 5 explores how we seek to sensitively extend this building to create a more coherent site language.

Overall, this Heritage Statement shows how the application proposals are considered to comply with national policy and the following chapters will seek to show how the design responds to the historical context at hand.



Ministry of Housing,
Communities &
Local Government

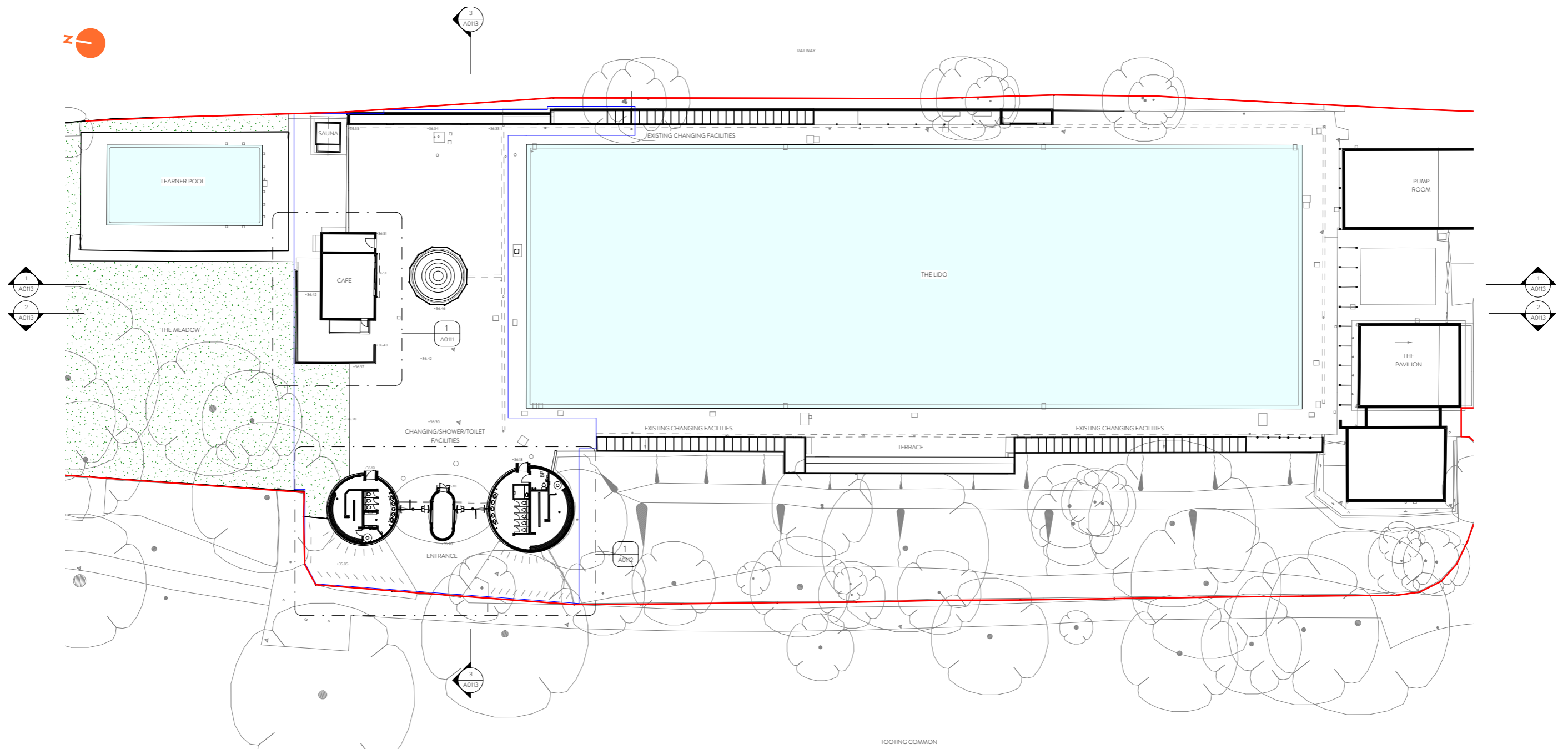
National Planning Policy Framework

February 2019
Ministry of Housing, Communities and Local Government

EXISTING BUILDINGS

SITE DRAWINGS

The below drawing shows the existing site plan today.



- = Indicative site boundary
- = Proposed area to be developed (Indicative planning application boundary)

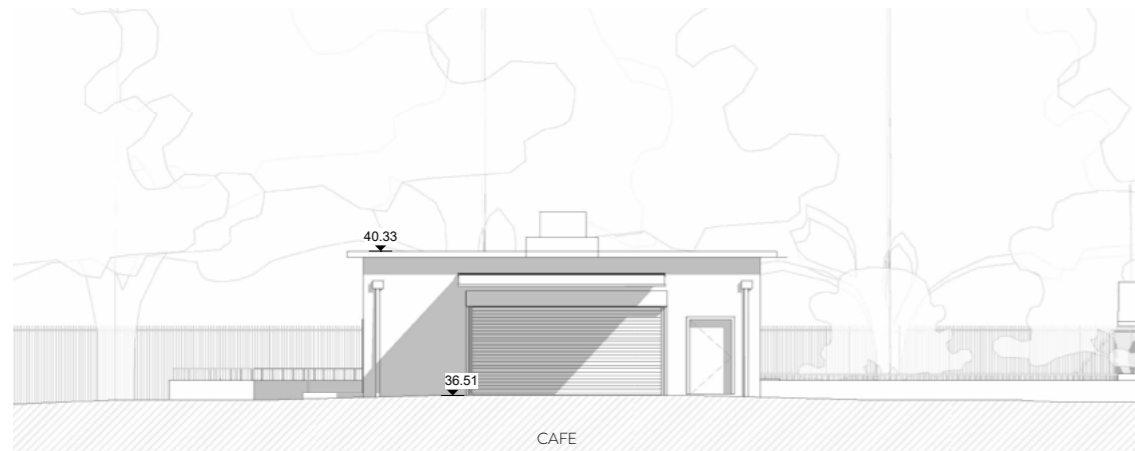
Existing site plan - NTS



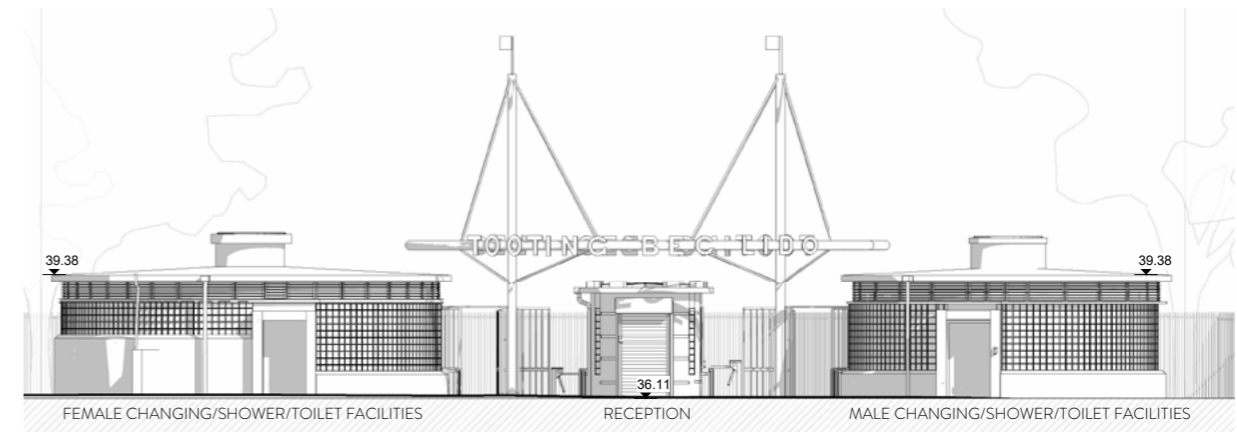
EXISTING BUILDINGS

EXISTING CAFÉ & ENTRANCE BUILDINGS

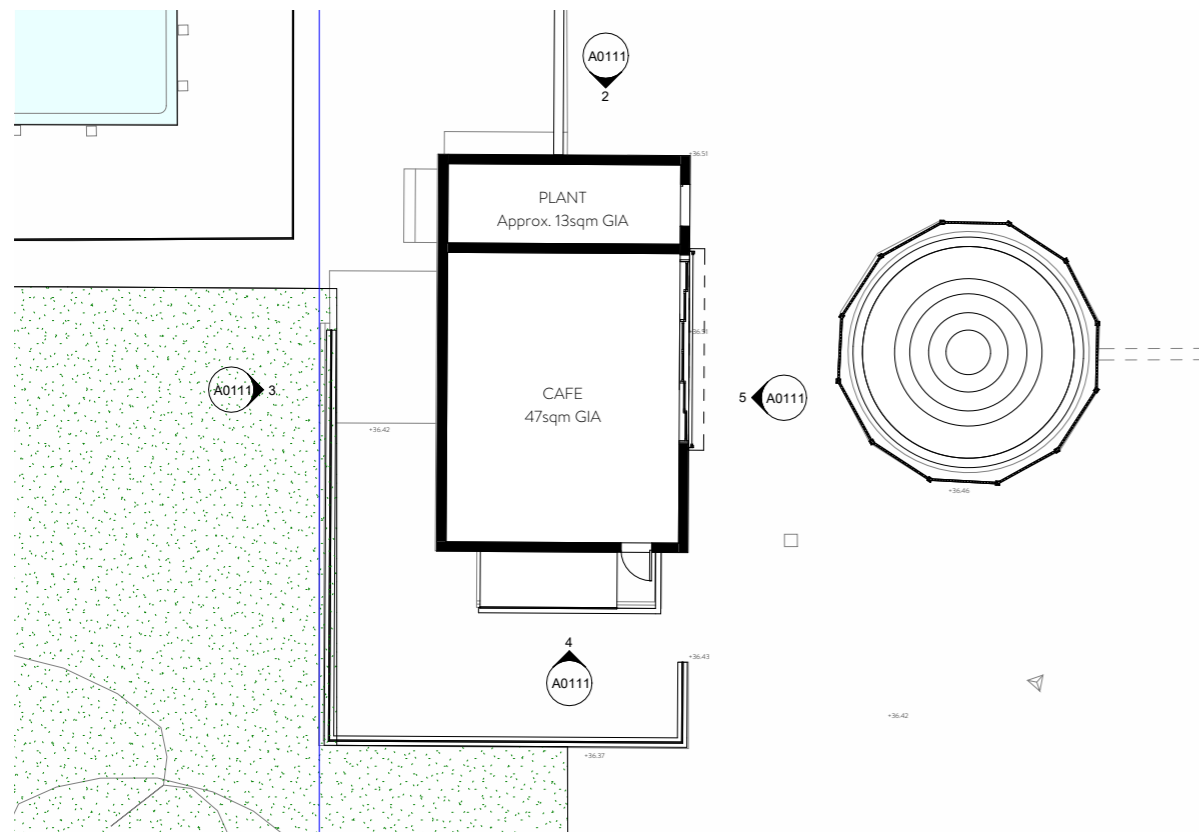
GEA - EXISTING FACILITIES	
SPACE	SQM (GEA)
Café	70
Reception	16
Male change/showers/WCs	58
Female change/showers	85
Pool Edge Storage*	52
	281



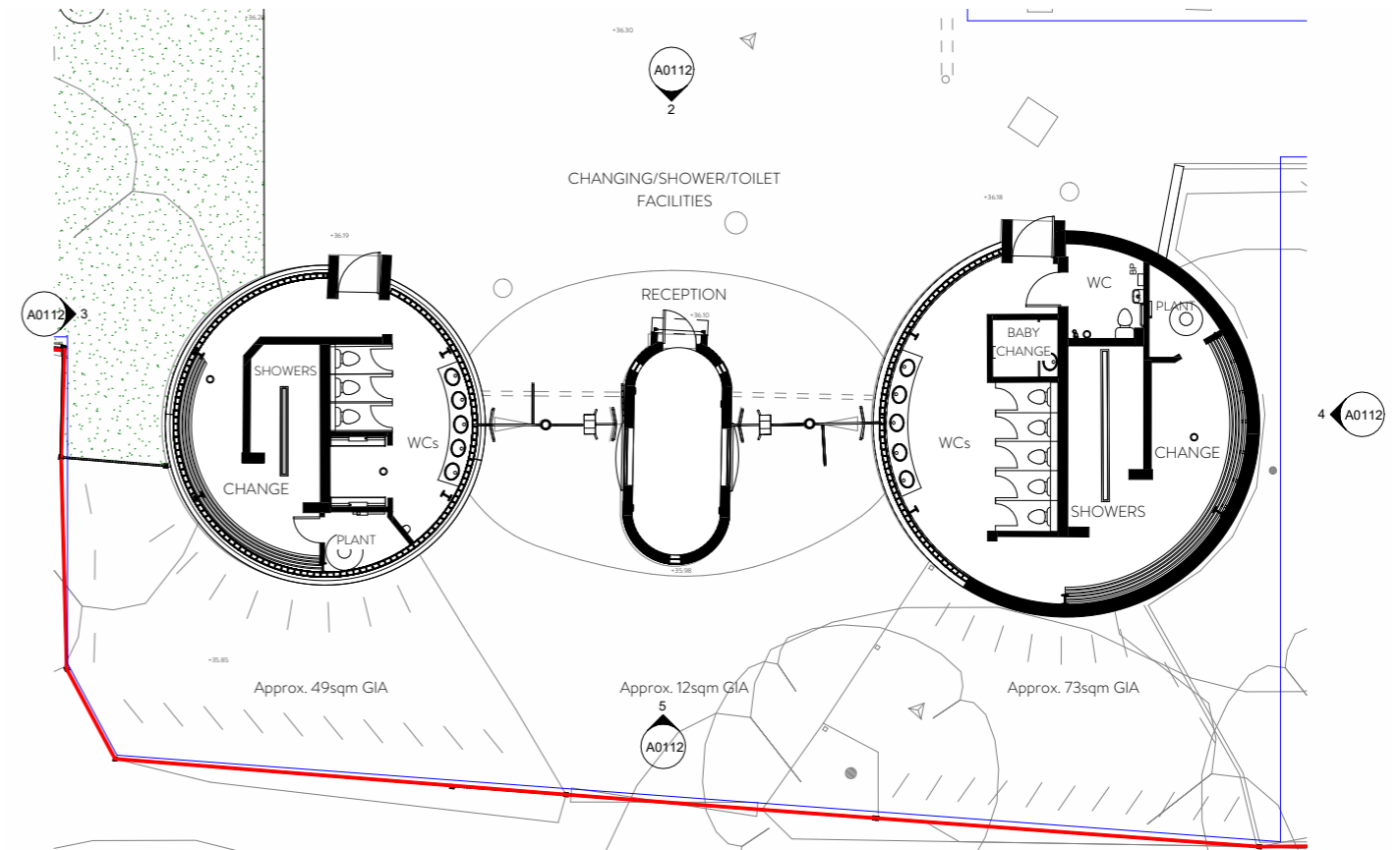
Existing south elevation of the café - NTS



Existing east elevation of the entrance/changing buildings - NTS



Existing plan of the café - NTS



Existing plan of the entrance/changing buildings - NTS



- = Indicative site boundary
- = Proposed area to be developed (Indicative planning application boundary)

EXISTING BUILDINGS

EXISTING POOL EDGE FACILITIES

Along the railway side of the pool edge are storage blocks painted in the azure blue. There is scope to replace this with the cubicle rhythm, creating more of a cohesive language across the site.



Existing photograph of the railway side pool edge - Image courtesy of Google Earth

CONSTRAINTS & OPPORTUNITIES

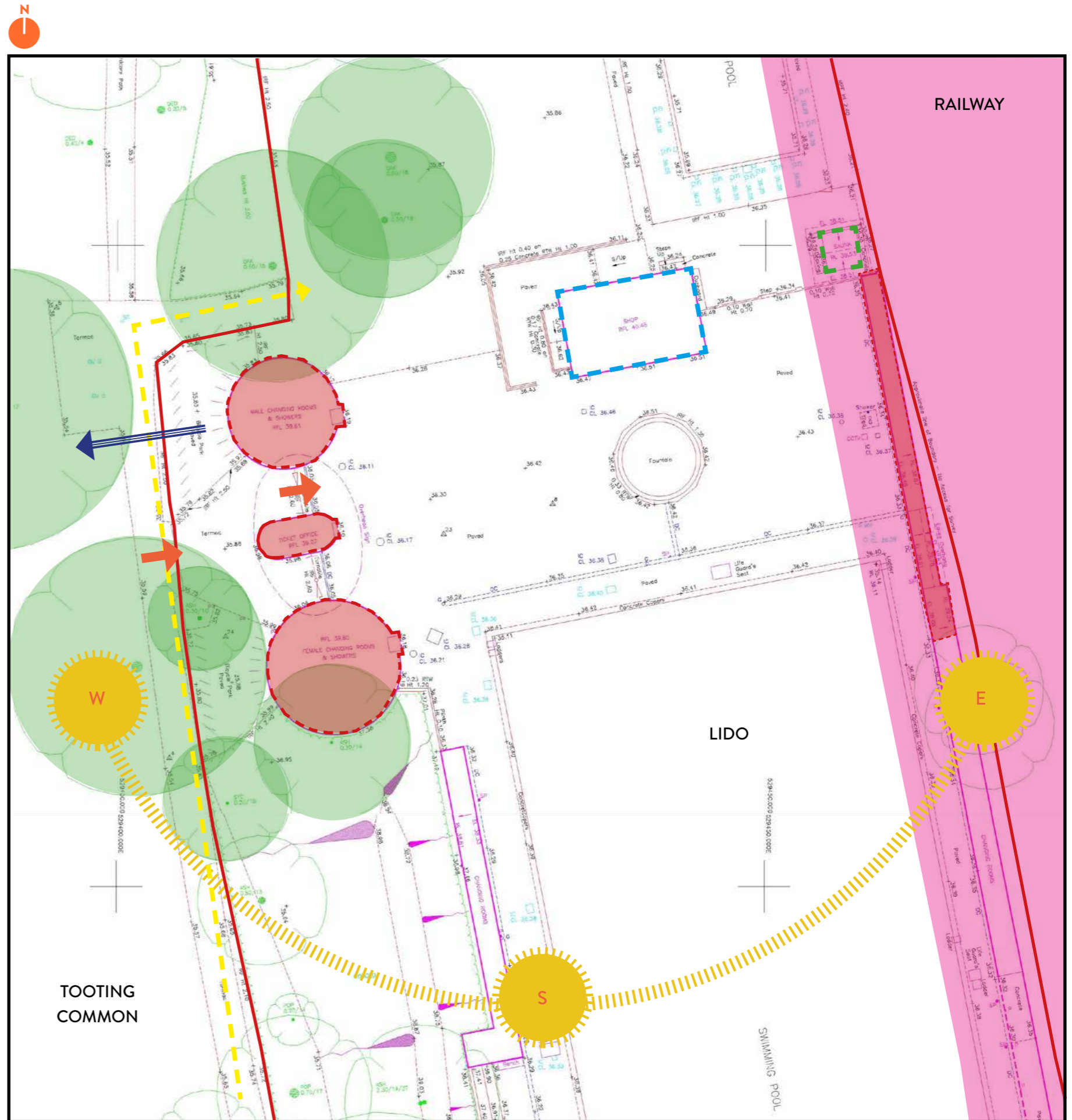
CONSTRAINTS & OPPORTUNITIES

Below are a number of key constraints and opportunities informing the progression of the design development.

Key

- Indicative Site boundary
- Nearby trees
- ➔ Access points
- ☀ Sunpath
- ➔ Access for emergency vehicles
- ➔ Opportunity to integrate better with the common
- Approximate critical drainage area
- Opportunity for refurbishment (subject to surveys)
- Buildings to be demolished
- Sauna to be relocated

The proposals have been taken into account the heritage value of the site. As stated in the chapter 5 of the DAS, from the design point of view, the proposed site layout aims to celebrate the original symmetry of the Lido, the buildings also make direct reference to features of the original buildings such as materials or architectural elements. Although, the site sits within Tooting Common Archaeological Priority Area, the fact that the proposed buildings are located within the footprint of existing buildings or built areas, lead us to believe that there will no impact on archaeological features. It also important to note that no basements our extensive excavation would be required for the construction of the light-weight single storey proposed building. Furthermore, the most recent built projects within the Lido site such as the existing entrance/toilets buildings (early 2000s), The Pavilion (2017) and the current works to re-build the pump house (2023) have not recorded any evidence of archaeological features during the construction period.

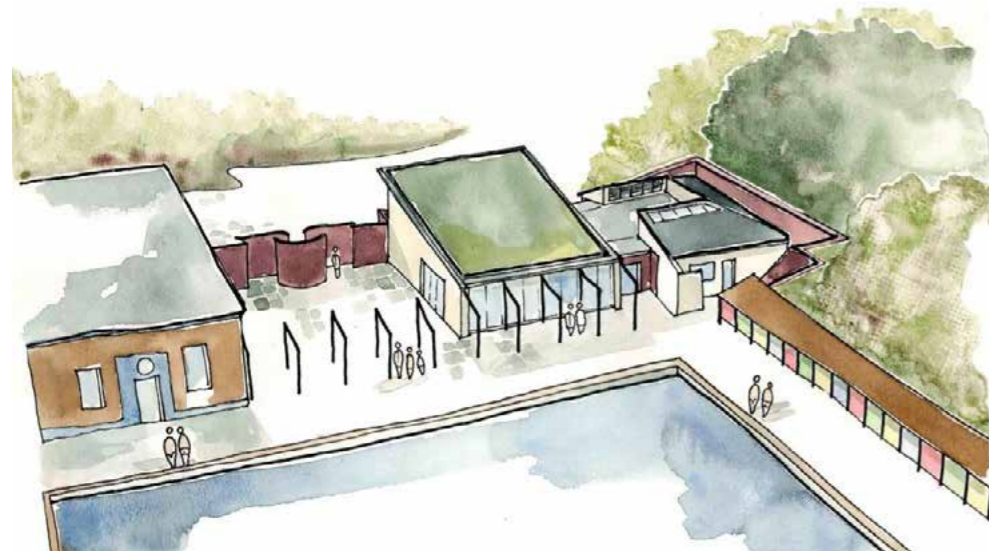


Constraints and opportunities - NTS

HISTORIC PLANNING APPLICATIONS

HISTORIC PLANNING APPLICATIONS

The adjacent table shows historical applications across the Tooting Bec Lido site that have been approved in the last 20 or so years.



Pavilion sketch proposal - David Gibson Architects, 2013

2022/2091	Tooting Bec Lido Tooting Bec Road SW16 1RU	Demolition of existing pump house and removal of existing plant, erection of pump house and installation of plant; new landscaping around pump house.	FINAL DECISION	23/06/2022	Approve with Conditions
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2020/1826	Tooting Bec Lido Tooting Bec Road SW16 1RU	Erection of a single storey electrical substation with green roof adjacent to the Tooting Bec Lido Pavilion, to upgrade the electrical supply serving Tooting Bec Lido. Installation of six new bicycle racks.	FINAL DECISION	05/06/2020	Approve with Conditions
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2013/1504	Tooting Bec Lido Tooting Bec Road SW17	Demolition of the existing southern end entrance structure and construction of two single-storey buildings and a new terrace/courtyard area to house a multi-purpose meeting room, kitchen, WCs and offices for the South London Swimming Club. The proposal would also include extensions to the existing changing cubicles along the side of the pool, extension of the existing west side seating terrace 1.5m into the existing built up mound; the installation of new public cycle stands by the existing north entrance and the exchange of common land into the lido site to the north of the site and the exchange of lido land into common land to the south of the site.	FINAL DECISION	19/04/2013	Approve with Conditions CIL Liable
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2001/1050	Tooting Bec Lido Tooting Bec Road SW16	Renewal of planning permission for refurbishment, including a new building at the south end of the pool.	FINAL DECISION	24/09/2001	Deemed permission granted
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S/96/0116	Tooting Bec Lido Tooting Bec Common SW16	Refurbishment of the lido, including a new building at the south end of the pool with a sun garden on the roof; new changing cubicles; new lido entrance pavilion (near the north west end of the pool); reshaped car park (69 spaces), with new footpath leading to the new lido entrance.	FINAL DECISION	21/03/1996	Approved (Historic)
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THE BRIEF + DESIGN DEVELOPMENT

THE BRIEF

IMPROVING THE LIDO

As it stands, the ancillary facilities at the Lido are in significant need of an update to accommodate the needs of users today. In 2023, the new pump house is currently under construction, with the installation of new state of the art facilities. The next logical step would be to upgrade the changing, WC and shower facilities to be more inclusive and cope with increasing demand and popularity.

“All facilities have to be kept fit for purpose and decades have passed since the Lido’s amenities were considered in the round. With ageing infrastructure it’s clear that both the quality and number of toilet and showers was insufficient. Additionally, there is insufficient provision for less able swimmers who need help in order for them to fully enjoy their swim. Furthermore, the wider requirements of families, different genders and religion enjoying the pool together needed to be taken into account. By considering the full requirements of all users whilst maintaining a sustainability mindset has enabled the team to compile a broad brief of requirements that has been the foundation of this project” - SLSC



The existing changing facilities

THE BRIEF

WELLNESS IN WANDSWORTH

Tooting Bec Lido plays a very important role for the wellbeing of the community; moreover the Lido is a key asset in the context of Wandsworth Health and Care Plan 2022-24 (draft) and the Council's Health and Wellbeing Strategy. To that effect the brief has been developed to upgrade its ancillary facilities ensuring Tooting Bec Lido continues to promote healthy living with 21st century standards. Indeed, at present, the buildings are tired and do not provide enough facilities for users in the peak of summer. Moreover, accessibility is limited, with just one accessible WC accessed via the same entrance to the women's changing which can cause confusion. On that subject, there is limited accessibility for those who do not identify as male or female. Therefore the SLSC's brief seeks to improve the onsite facilities and prepare for evolving needs of users whilst tapping into the Borough's Health and Wellbeing Strategy.

Building Community Assets

'There are already lots of positive communities in Wandsworth which have resources and strengths such as great community spirit, cohesion, motivation and services. These local community strengths are known as community assets.

To build community assets we have to work with local organisations, communities, statutory organisations and the private sector. This includes pulling together existing community groups and assets and ensuring we involve 'seldom heard' groups: those groups who may not normally engage with us.

Working alongside our partners we will support and encourage communities to continue to build on their strengths and assets and empower them to make the right choices to improve their health.'

- The Wandsworth Health & Wellbeing Strategy



The Wandsworth Health and Wellbeing Strategy

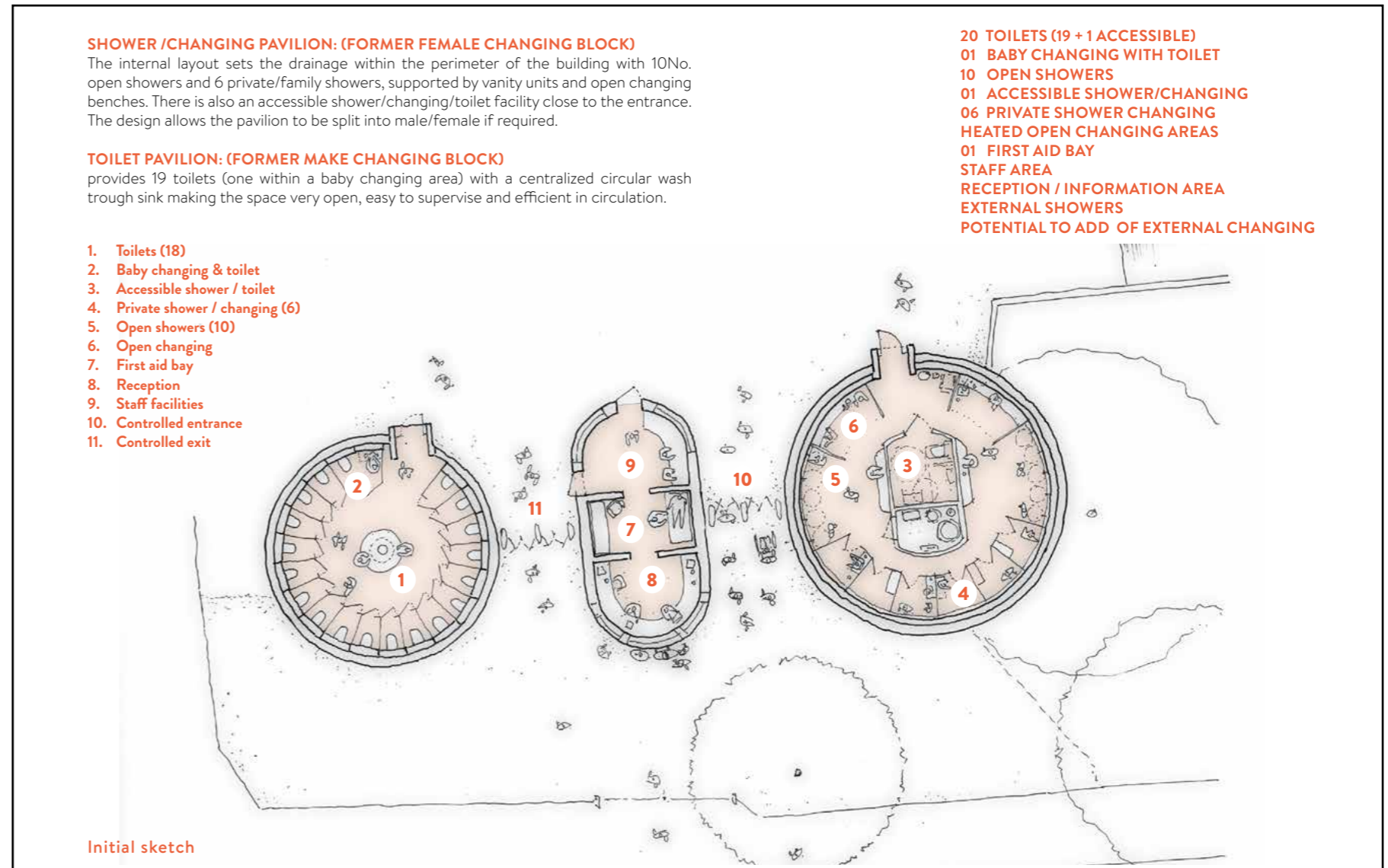
THE BRIEF

COMPETITION BRIEF

In March 2022, the SLSC launched a competition to improve the shallow end facilities at Tooting Bec Lido, taking advantage of the planned closure during the works to the pump house. Their key aims were:

- Improve the long term sustainability of the Lido
- Introduce best in class environmental considerations at the site
- Enhance the facilities to make them fit for purpose and truly serve its users needs
- Fall within the current footprint of the women and men's shower blocks and reception booth
- Be low carbon, sustainable and economic
- Be single story
- Complement and enhance the environment from both the common side and pool side
- Harmonize with the iconic outdoor changing cubicles
- Improve ticketing management and security checks
- Provide at least 10 communal indoor showers and private showers
- Any changing facilities will be in addition to the extensive poolside cubicles so can be limited
- Provide 20 mixed gender toilets using recycled grey water
- Provide an accessible WC, shower and baby change
- Use underfloor heating
- Provide at least 4 outdoor heated showers and 2 cold outdoor showers
- Incorporate green measures such as PVs
- Deliver the same number of cycle storage places, if not more

WR-AP's winning competition design was for full refurbishment of the existing facilities at Tooting Bec Lido, based on the principle that 'the greenest building is the one that already exists'. The team felt there could be an opportunity to repurpose the existing structures whilst fully reconfiguring the internals to meet the brief requirements. Meanwhile, mstep explored a number of innovative sustainability measures, from the use of a ground source heat pump system (GSHP) to heat the buildings and the water in the showers, whilst also utilising the pool filtration system to harvest additional free heat to supplement the GSHP system. Indeed, due to the large volume of water being filtered, the minimum temperature differential of the inlet and outlet of the filter could be utilised and converted into usable thermal energy for the supply to the heat pumps. This would be in addition to grey water harvesting to flush toilets and photovoltaic solar panels.



Winning competition entry

THE BRIEF

EVOLVED BRIEF

From May 2022, the design team began to meet fortnightly with the SLSC to develop the design. Over time it proved that refurbishing the facilities would prove challenging, the cylindrical nature of the building making it challenging to provide an uplift in facilities and therefore improve the experience of users of the site. Furthermore, after further investigation the team concluded the buildings had reached the end of their life. As a result, the brief began to evolve and to support this, WR-AP prepared a 'Priority Matrix' for the SLSC to help establish their priorities for development at the site.

One of the key conclusions drawn from this exercise was to rethink the café building. The existing café is failing to draw revenue. The team discussed relocating the café to have a Common and pool facing side to increase revenue and thus viability. This was well supported by all and became a key driver for the evolving brief. Following this and a series of sketch ideas produced by the design team, the SLSC were able to update their requirements. Their revised key aims were:

- The new building should be low carbon
- Be single story
- Complement and enhance the environment from both the common side and pool side
- Harmonize with the iconic outdoor changing cubicles
- Have at least 2 automated turnstiles
- Have a covered area for visitors checking in
- Have a covered area for security and baggage checks
- Provide a counter for 2 receptionists facing incoming visitors
- Provide a door to the reception area
- The reception should be heated and well ventilated
- The café should have a pool facing element and serving counter
- The kitchen/preparation area should be at least 30sqm
- Ability for the café to have a service to the Common via a hatch (seating located outside the Lido could be an option)
- There should be storage
- Provide at least 80-100 lockers
- Scope for 80 bikes to be stored securely within the Lido compound prior to visitors passing security and reception
- Minimise number of doors opening on the south wall to optimize sunbathing space
- Universal toilets should be provided in addition to male and female specific
- Include a club room/shelter for members

TOOTING BEC LIDO - PRIORITY MATRIX						
KEY ISSUE	DESCRIPTION OF ISSUE	DESIGN MITIGATION TO RESOLVE IDENTIFIED ISSUE	PRIORITY			
			LOW	MEDIUM	HIGH	
ENTRANCE AREA						
Security	Management at the Lido need to ensure the safety of visitors is upheld at all times. Security measures include: preventing anybody under the influence from entering the building, making sure no prohibited items are brought onto site and ensuring no trespassers can enter the site when the Lido is closed	Provide on site facilities for security to do bag checks. Ensure the security of the design is considered to prevent and deter trespassers (e.g. defensible planting and anti-climb paint)			HIGH	Who should be consulted Rob NOTES
Security Checks / Queue	Security checks can lead to long queues on sunny days	Incorporate efficient bag checks - if the design is a new build, metal detectors or bag scanners could be integrated into the scheme - efficient checks would be beneficial but scanners etc overkill	LOW			Places Leisure A
Ticket Checks	Security needs to be able to check tickets efficiently to prevent a back-log of queuing at the Lido	Provide on site facilities for security to check tickets efficiently, or provide an automatic bar code entry system. The online ticket booking system should help with long queues			HIGH	Places Leisure A
Entrance Queuing	On hot summer days there could be over a thousand people trying to access the Lido	Storage for queuing barriers will need to be maintained or integrated into the design. The online ticket booking system should help with long queues - with the issue on hot days there are efficient solutions that may be deployed that don't require permanent infrastructure	LOW			Places Leisure A
Unightly Security Gates	The existing security gates to the Lido are functional but could be 'softened' visually	Alternative security measures could be integrated such as defensible plantings, or the security gates could become green walls. If a new building is proposed, security gates may not be required at this area as entrance gates could be within the building therefore preventing trespassers being able to jump the current external barriers - dependency on overall design	LOW			Places Leisure (Key here is that the perimeter is secure) A
Overlooking	The new entrance means the Lido can be seen from Tooting Common which contrasts with the original design intent of the Lido	The new design could seek to create a 'quieter' entrance to the Lido that blends the entrance back into the landscape of Tooting Common		MEDIUM		SLSC (eventually MAC and FOTC). Enclosed area between the 2 existing toilet buildings could solve security / space issues
Wind	Concerns have been raised regarding the impact of wind travelling between the circular changing facilities and ticket entrance to the north end of the pool, creating a draft for swimmers	Wind mitigation measures could improve the unwanted passage of wind through to the pool		MEDIUM		SLSC
Cycle Storage	Provision of cycle storage must be maintained	Maintain the provision for 46 or more bikes to be stored at the entrance to the Lido			HIGH	Place Leisure & SLSC Need to consider secure storage of bikes in fitting with the designs of the gates / security flow of processing people on arrival A
SHOWER AND CHANGING FACILITIES						
Private Shower/Changing Facilities	The existing changing facilities do not necessarily accommodate for all gender identities, although there are a number of existing private facilities surrounding the pool that are unisex	Provide a number of male, female and gender specific private shower/changing facilities in addition to changing rooms surrounding the pool			HIGH	SLSC, Place Leisure Align with Swim England guidelines B
Cultural Inclusion	For religious reasons, some people would require a private shower and changing facility	As above, provide a number of private shower/changing facilities in addition to changing rooms surrounding the pool (as per Private Shower/Changing Facilities)			HIGH	SLSC, Place Leisure Align with Swim England guidelines B
Families	Family changing is needed to ensure children can be accompanied by an adult	Provide an indoor family changing room with shower			HIGH	SLSC, Place Leisure Align with Swim England guidelines B
Accessible Facilities	The Lido endeavors to be accessible to all and thus the changing facilities must accommodate all	Provide at least one accessible shower, changing and WC facility			HIGH	SLSC, Place Leisure Align with Swim England guidelines B
Communal Shower/Changing Areas	Communal changing facilities should be upgraded	Provide gender neutral showers. The shower cubicles should not cater for changing - should not encourage clothes to be left in cubicles.			HIGH	SLSC, Place Leisure Align with Swim England guidelines B
Lockers	Establish whether new lockers are a requirement	Establish whether new lockers are a requirement and integrate into the design if needed - external lockers would be preferred	LOW			SLSC, Place Leisure C
Underfloor Heating	Improve the comfort of visitors to the Lido	The brief has suggested underfloor heating should be installed in the shower/changing areas - is this a requirement? Should be confined to any private shower areas		MEDIUM		SLSC B
TOILETS						
WCs	There are currently not enough toilets at the Lido, particularly to accommodate the peak number of visitors to the Lido during the summer	The brief states to provide 20 unisex toilets as part of the development of the site. Retrofit of the existing facilities may not allow for 20 toilets, but a new building should integrate this number. Note only - it would be beneficial to also have some unisex on site			HIGH	SLSC, Place Leisure Align with Swim England guidelines D
Mixed Gender or Gender Specific?	Establish the requirement for gender inclusion	Establish the requirement for gender inclusion to then be implemented into the scheme - may need an inclusivity consultant to advise or review drawings			HIGH	SLSC, Place Leisure Align with Swim England guidelines D
POOL SURROUNDINGS						

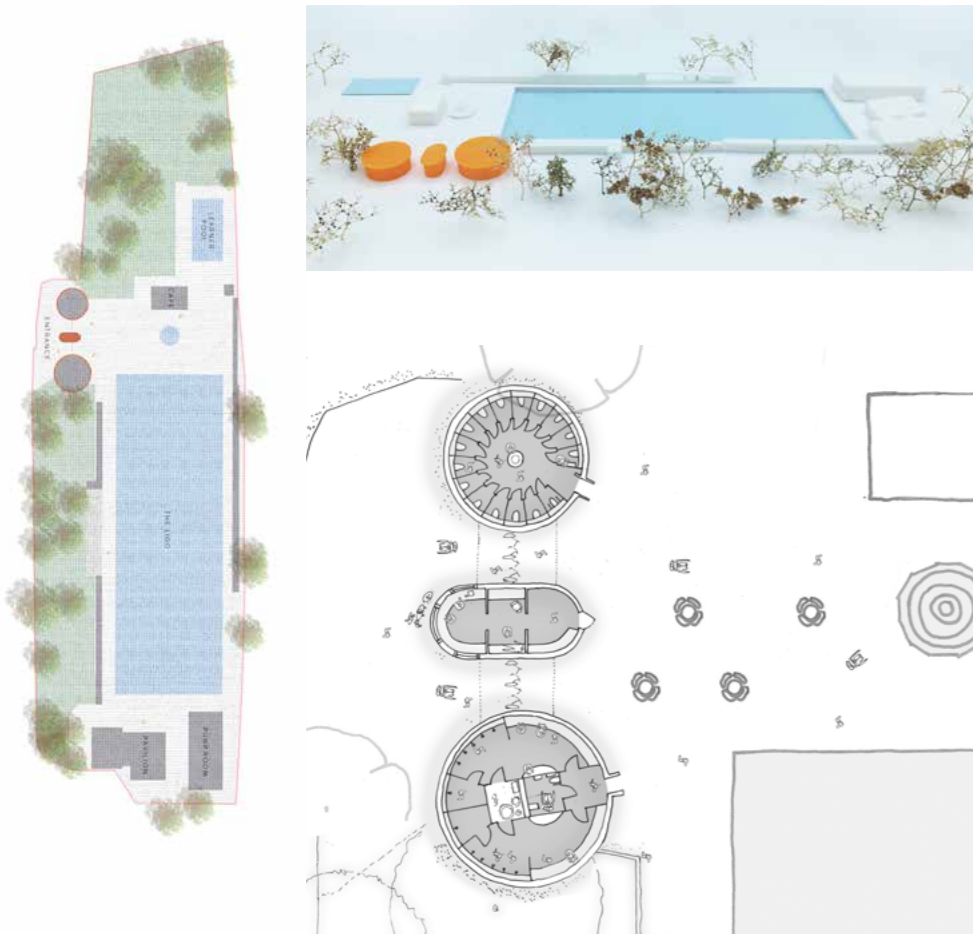
Completed 'Priority Matrix' prepared by WR-AP and completed by the SLSC, establishing the needs of the evolved brief

Storage Requirement	Establish if more storage is required	More storage could be integrated within the scheme if required	LOW			SLSC, Place Leisure
More Changing Room Types	Establish if more external changing room types are required	Integrate more changing room types around the pool if required	LOW			SLSC, Place Leisure
External Lockers	Establish if more lockers are required	Establish if more lockers are required and integrate within the proposal if needed - options on using (small for wheelchair larger for clothing)		MEDIUM		SLSC, Place Leisure
External Showers	Not enough external showers?	Provide 6 outdoor showers - 4 heated and 2 cold (heated ones are the priority)			HIGH	SLSC
Sauna	Establish if the current sauna is fit for purpose	Establish if the current sauna is fit for purpose or whether a new sauna should be integrated into the wider development of the site	LOW			SLSC, Place Leisure - a standalone object - consideration needs to be given to location
CAFÉ						
Café	Concerns have been raised regarding the size of the café	As part of the wider regeneration of the site, a larger café facility could be integrated which complements the proposed works to the entrance		MEDIUM		SLSC
Vending Machines	Concerns have been raised regarding the size of the café leading to queues on busy days	If the development does not extend to the café, a number of vending machines could be integrated to limit the pressure on the café during the peak season	LOW			SLSC
Better Relationship with Café and Surroundings	The need to accommodate lots of people on busy days	As part of the overall regeneration it may be possible to improve the relationship of the café with the rest of the proposal			HIGH	SLSC
LEARNER POOL						
Learner Pool	The existing learner pool is deep enough to require monitoring from life guards as it presents a risk to small children and non-swimmers	As part of the wider regeneration of the site, the learner pool could be a signpost, reducing the risk to small children and non-swimmers. Reconfiguration of the café could improve passive surveillance of this area		MEDIUM		SLSC Preferred option would be a 'SplashPad'
SUSTAINABILITY						
Ground Source Heat Pump	Improve the sustainability of the Lido	A ground source heat pump could be installed in the land adjacent to the learner pool and used to heat the water of the new showers and could also be used for underfloor heating. The associated plant will need to be integrated within the proposals. (Ground Source may not be the most appropriate option) - fully supportive of the optimum route to source sustainable heating			HIGH	SLSC
Pool Filtration System	Improve the sustainability of the Lido	Additional heat could be harvested from the pool water filtration system, working in conjunction with the ground source heat pump			HIGH	SLSC - see note above
Grey Water Harvesting	Improve the sustainability of the Lido	A grey water tank could be installed beneath the entrance. Grey water from the new showers could be harvested and used to flush the new toilets			HIGH	SLSC
Photo Voltaic Panels	Improve the sustainability of the Lido	Integration of PVs to feed into the energy strategy of the Lido			HIGH	SLSC
Material Palette	Improve the sustainability of the Lido	The material palette of the proposal, whether retrofit or new, will be chosen to have a low carbon footprint			HIGH	SLSC
Green Roofs	Improve the sustainability of the Lido	Green roofs could be installed to improve the biodiversity of the site and complement the new pavilion building to the south of the site - not sure how green roof and PV panels would be compatible		MEDIUM		SLSC
ARCHITECTURE						
Aesthetic of the Proposal	Improve the architecture of the entrance to the Lido	Complement and enhance the existing architecture of the Lido, in particular the characterful changing rooms surrounding the pool			HIGH	SLSC
Maintenance	Given the nature of the pool, there is a risk of decay which would make materials look tired over time	Consider the durability of materials used in any proposal and the maintenance required to keep materials looking their best			HIGH	SLSC
Accessibility and Inclusivity	Accessibility and inclusivity needs to be at the forefront of design	Integrate accessibility and inclusivity measures into the proposal, such as improved wayfinding			HIGH	SLSC, Place Leisure Align with Swim England guidelines
CONSULTATION						
Key Stakeholders Consultation	Consult with SLSC, Wandsworth Council, Places Leisure, Tooting MAC, Friends of Tooting Common and Paddings	Integrate comments into the design process			HIGH	K
Statutory Consultation	Consult with Planners, the Secretary of State, Heritage England, Sport England and Swim England - only relevant to funding	Integrate comments and policies into the design process			HIGH	K
Public Consultation	Consult with the public	Integrate comments into the design process			HIGH	K

DESIGN DEVELOPMENT

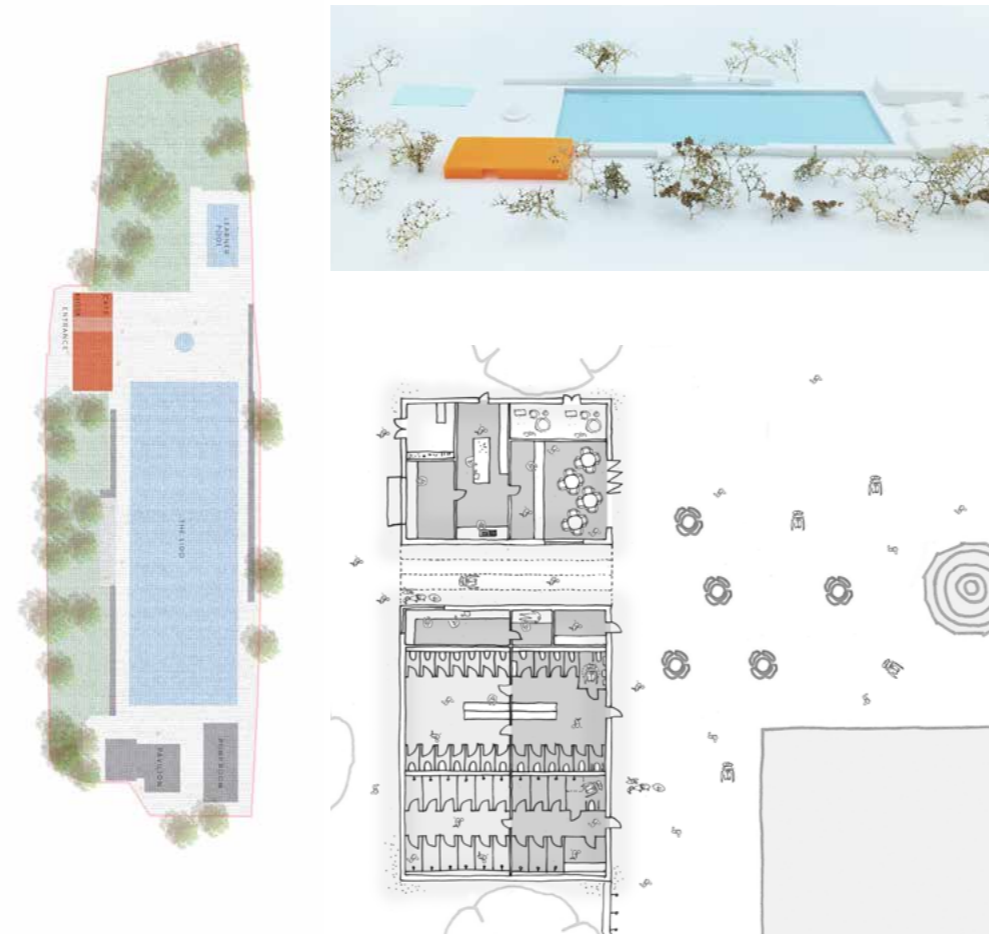
SKETCH DEVELOPMENT

The below sketches and models show how the design developed over time as the brief began to evolve.



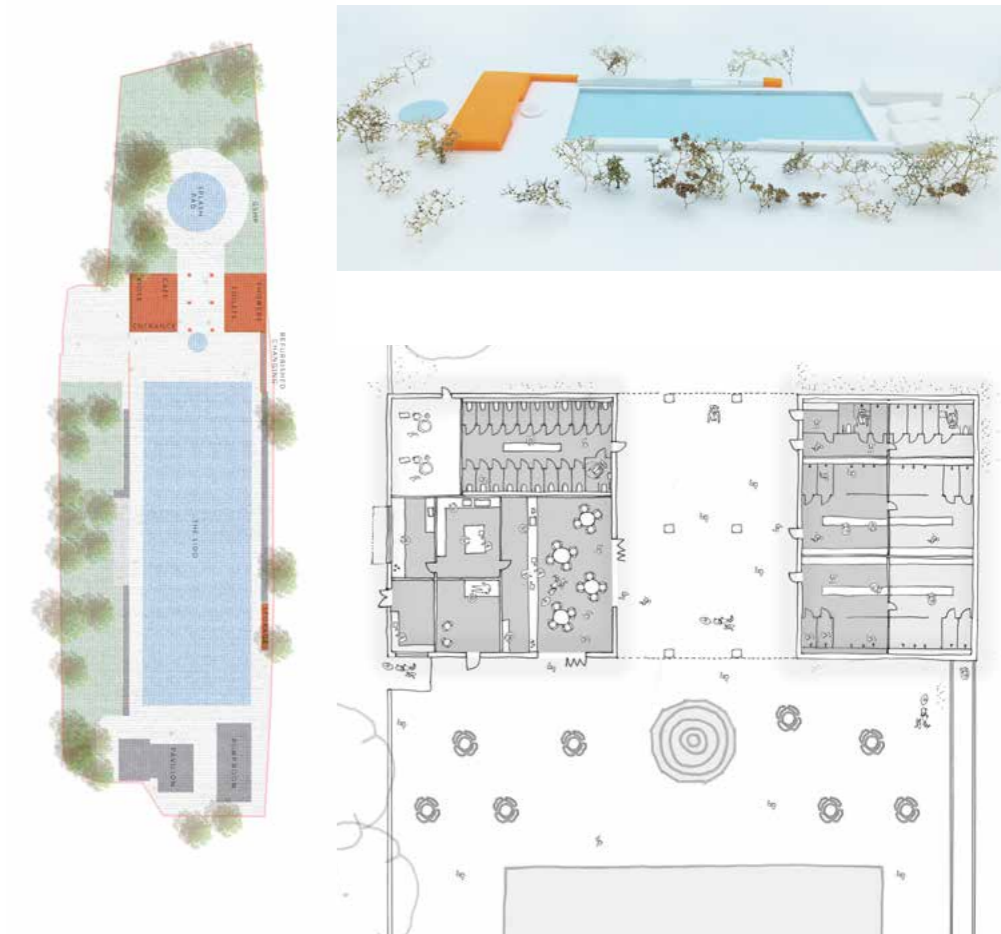
May 2022 - Refurbishment

The team concluded the existing buildings are too restrictive for refurbishment. Meanwhile, the existing café building was failing



June 2022 - A new entrance and beginning to introduce the café

The team concluded this footprint was overproviding on facilities and could be reduced in size



August 2022 - Building within the grounds

The team looked at relocating the building but felt the building took up too much space during the busy summer months. This scheme also overprovides on facilities

DESIGN DEVELOPMENT

SKETCH DEVELOPMENT

Following this design development and after receiving the revised brief, WR-AP arrived at the adjacent design which they presented at a public consultation in November 2022.

This design sought to: increase the number of toilets and showers, create more inclusive facilities (gender/cultural/accessible), improve access control and create a more welcoming approach, create more sustainable buildings, use the perimeter changing as a model to provide gender neutral toilets and showers, explore the potential to reuse the existing café building as a club facility/shelter and address café viability by integrating with Tooting Common.



Ground floor plan presented at the public consultation in November 2022



CONSULTATION

PUBLIC CONSULTATION 17.11.22 & 18.11.22 & STATEMENT OF COMMUNITY INVOLVEMENT

From the start of the design development process, the design team have consulted with key stakeholders and the local community, whose feedback has fed into final proposals for the scheme. Consultation has been transparent and accessible, ranging from presentations to exhibition events and has driven a truly collaborative design process. Those consulted in November 2022 include:

- Representatives of the SLSC & SLSC members
- Places Leisure
- The London Borough of Wandsworth - Councillors
- The London Borough of Wandsworth - Planners
- Friends of Tooting Common
- Tooting Common Mac
- Tooting Bec Lido users
- The general public / casual swimmers

The public consultation and exhibition events were widely advertised via the SLSC e-Newsletter and Social Media, with the presentation boards made available online for those unable to attend the sessions in person alongside the opportunity to leave feedback on a purpose made webpage. The adjacent boards were shared at the engagement sessions at Tooting Bec Lido on 17.11.22 and 18.11.22 and led to very constructive feedback during the session and after. From the 2376 people emailed the newsletter, by the 01.12.22, 755 people had opened and clicked through to the webpage. At the engagement session with Wandsworth Councillors, Joanna Shearer (Leisure and Culture Mutual Contract Manager) provided support for Wandsworth Council. Meanwhile, Cabinet Member for Environment, Judi Gasser said 'The South London Swimming Club is an important and valued partner in our work to improve and safeguard the future of our wonderful lido. I urge local people to visit the exhibition and find out more about the club's plans to enhance and support the work we are doing to preserve and protect the lido for many decades to come.'

EXISTING	PROVISION	PROPOSED
10 (FEMALE, MALE & ACCESSIBLE PROVISION)	SHOWERS	22 (FEMALE, MALE & GENDER NEUTRAL PROVISION)
0	WCs	26 (FEMALE, MALE, GENDER NEUTRAL & ACCESSIBLE PROVISION)
1	EXTERNAL SHOWERS	AT LEAST 5
80	CYCLE STORAGE SPACES	AT LEAST 80
N	GENDER NEUTRAL BABY CHANGE	Y
N	CHANGING PLACES ROOM	Y
N	GENDER NEUTRAL SHOWERS	Y
N	GENDER NEUTRAL WCs	Y
Y	ENTRANCE CONTROL	Y
Y	CAFE	Y
N	RECEPTION	Y
N	SECURITY CONTROL	Y
N	SUMMER SHELTER/WINTER CLUB ROOM	Y

Engagement boards

CONSULTATION

PUBLIC CONSULTATION 17.11.22 & 18.11.22

The below images show photographs from the engagement sessions with Tooting Common Mac, Friends of Tooting Common, Places Leisure, the London Borough of Wandsworth, SLSC members and casual swimmers at the Lido.



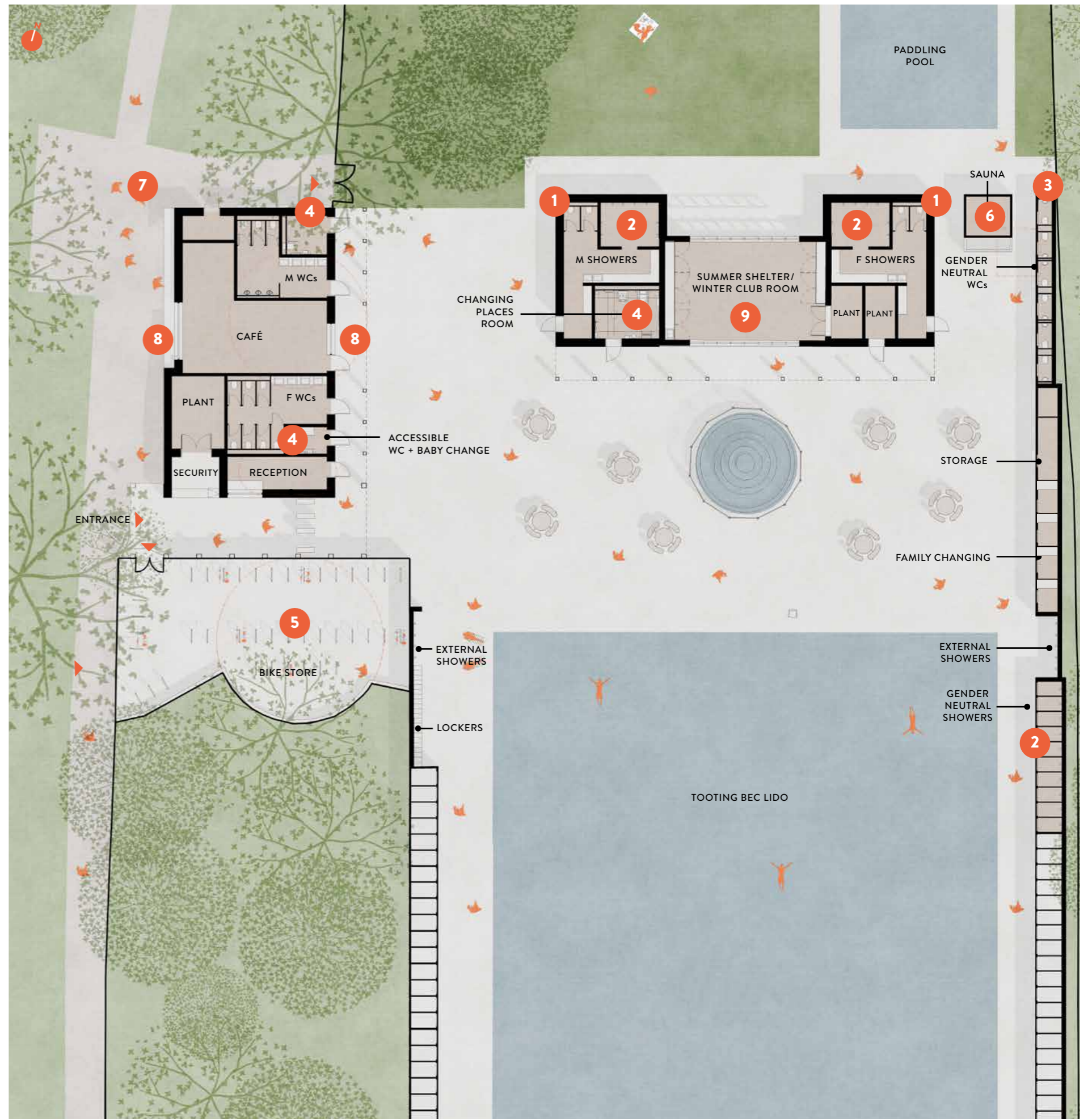
Consultation event photos

DESIGN DEVELOPMENT

SKETCH DEVELOPMENT

The vast majority of feedback gathered through the webpage and in person sessions has been addressed since November 2022, including the following key items and moves:

- 1 There was feedback that the showers and WCs should not be entirely separate. We have now integrated a number of WCs into the shower block as requested
- 2 There were comments that the internal showers should be communal rather than entirely private. We have therefore relocated the private shower cubicles to the pool edge to allow privacy for those who would like it
- 3 We have significantly reduced the number of WCs around the pool edge and positioned them to the north of the site rather than the poolside. The doors to these will be full height though the character of the communal doors will be retained
- 4 We have integrated an additional accessible shower as well as a changing places room and accessible WC
- 5 We have ensured the cycle store provision matches the existing number whilst increasing the surveillance of this from the security room/reception
- 6 The sauna is being retained and better integrated with the site layout
- 7 We have been developing the character and materiality of the designs. We have investigated the symmetry of the site by repositioning the shower blocks to either side of the retained café whilst integrating the colonnade to respond to the existing site character of the changing cubicles and pavilion. Reconfiguring the entrance building has improved its efficiency
- 8 The café remains integrated with both the Common and pool – this was greatly supported by all at the engagement sessions
- 9 The existing café is still proposed to be retained but transformed into a club room/shelter, subject to future surveys



Revised floor plan

PRE-APP

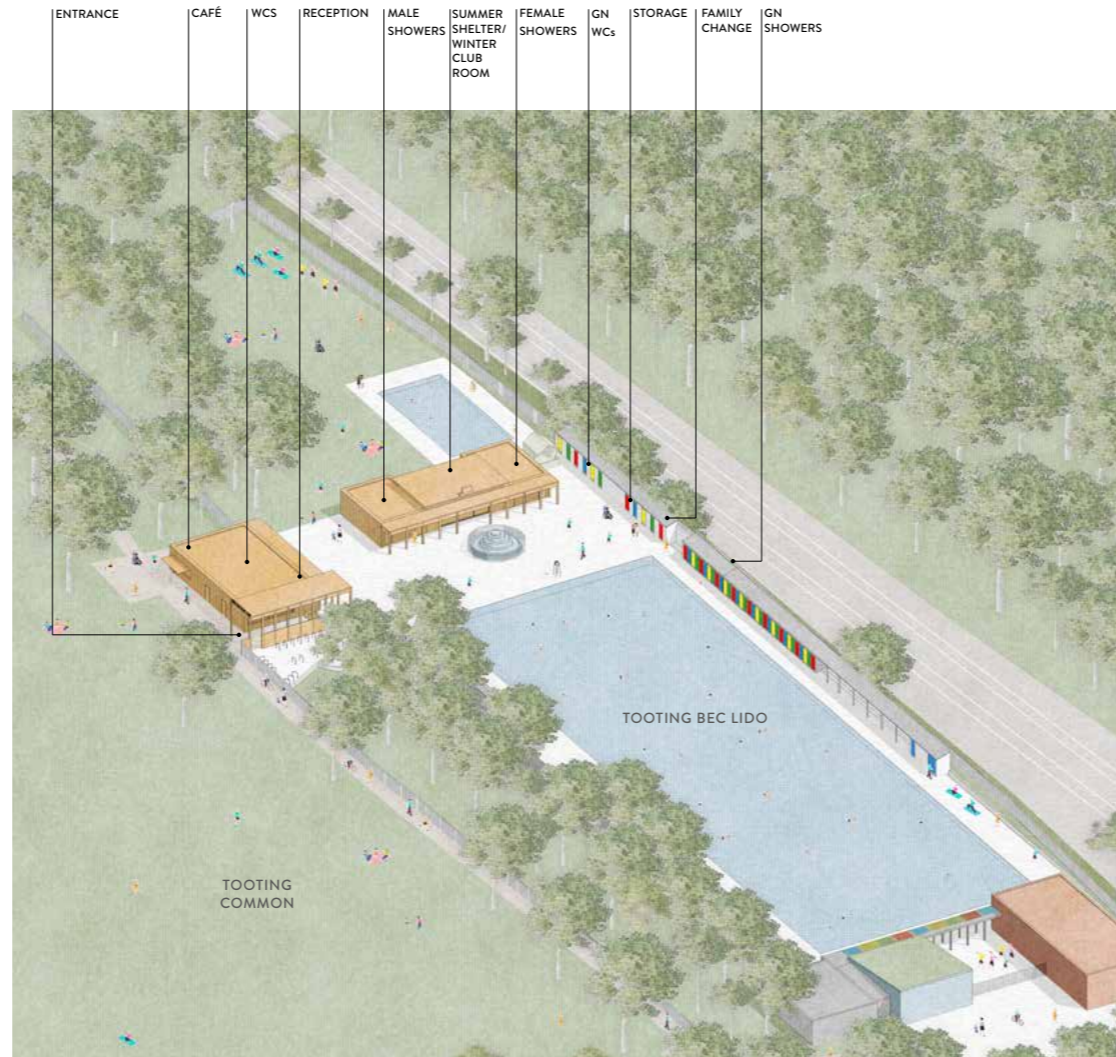
02.02.23

On the 02.02.23 we presented the design development since the public consultation sessions in November to London Borough of Wandsworth planners at the Woodfield Pavilion on Tooting Common following a site walkaround. Those in attendance included one Wandsworth Planning Officer, one Wandsworth Design Officer, representatives of the SLSC and WR-AP.

Pre-application advice was circulated on 14.04.22 by Planning Officer Sinéad Kelly.

The following page highlights key comments raised and the teams responses.

Overall, “The pre-application advice highlights that the benefits of the project (increase in number of toilets/showers, increased inclusivity of facilities, improved entrance, creation of sustainable buildings and improved viability of the café) would ensure the provision of a high-quality, inclusive social and community facility in accordance with policy DMC1 (Community Facilities) and emerging LP17 (Social and Community Infrastructure) and therefore is supported in principle”.



Material presented at the pre-app



PRE-APP

RESPONSE MATRIX

TOOTING BEC LIDO - PRE-APPLICATION ADVICE

Meeting date: 02.02.23

Advice provided by: Sinéad Kelly (Planning Officer) on 14.04.23

COMMENT	RESPONSE
"Officers understand that given concerns outlined by the Biodiversity team (Enable) at a meeting on 22.02.23, the proposed café and entrance would be moved away from the existing boundary with the Common, towards the lido site to increase space between the building/kiosk and existing footpath. This would otherwise remain unchanged in design/form, etc"	In response to comments raised on 22.02.23, we have moved the entrance building back towards the Lido site by over 1.5m, giving more space in front of the building. This would lead to an extension to the existing path and lead to no loss of grass land. Please refer to Chapter 4 of the DAS to show a diagram of this design move. Concerns have also been raised regarding the possible litter brought about by relocating the café. We propose locating some external bins by the café. The locations and final designs of these bins will need to be agreed with planning authorities and relevant groups. The waste strategy for the project is explored in Chapter 6 of the Design and Access Statement.
"When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. 'Very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations...Paras 149 and 150 of the NPPF set out exceptions to inappropriate development and of relevance to the current application are paras 149 b) and g): b) the provision of appropriate facilities...for outdoor sport [and] outdoor recreation; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it; g) limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use...which would: - not have a greater impact on the openness of the Green Belt than the existing development...The proposals relate to a facility which is used for outdoor sport and seek to re-provide buildings that are already on the site associated with this use. Therefore, Officers must assess if these buildings would preserve the openness of the MOL and not have a greater impact on the openness of this than existing...given the existing use Officers do not consider that this would be inappropriate under 149 (b)"	In response to comments raised on during the pre-app meeting on 22.02.23, we have prepared a series of diagrams within Chapter 5 of the DAS overlaying the proposed with the existing entrance buildings which highlight that the impact of the proposed building would be neutral or even less significant than the existing buildings.
"Regarding 149 g), the proposed new buildings are shown as contained within the site's red line boundary...This boundary is marked with a metal fence. It is noted on the submitted plans this fence appears to be approx. 1.6m tall however on site they appeared taller. If incorrect this should be updated on existing plans to show full extent of existing structures"	The topographical survey conducted by Aworth Survey Consultants shows the fence height to be typically 2.5m - this has been amended on the submitted drawings.

PRE-APP

RESPONSE MATRIX

COMMENT	RESPONSE
<p>"While the proposals would result in an increase in floor area...'openness' is both a spatial and visual concept...Along the western boundary, the new café building and entrance point would be located beyond the existing metal fence boundary that delineates the site boundary and would have a reduced width to the existing structures. While increasing in depth, there would be limited views of the side elevation available from the MOL...In addition, proposed colours of green and timber earthy colours with overhead living roofs above that are more fitting within the MOL setting than the existing blue structures. Views of the existing central building are limited beyond the existing circular buildings and trees and vegetation along the boundary. Whilst it's enlargement would be noticeable from some points to the north and west, these views would be limited"</p>	<p>In response to comments raised on during the pre-app meeting on 22.02.23, we have prepared a series of diagrams within Chapter 5 of the DAS showing comparative diagrams between the existing bright blue building vs. a green/timber palette. The diagram shows how the proposed materials sit better within the woodland context and therefore have a reduced visual impact on the Common.</p>
<p>[Regarding the refurbished cafe building] - "It would also incorporate large central glazing, allow for views through the building, helping reduce its perceived massing. Officers would however recommend that colours are muted to ensure this would camouflage well with the MOL"</p>	<p>Following the Pre-App meeting, we have reviewed the materials within the pool site itself, opting for a neutral light coloured render with glazed brick base in either blue or green to complement the woodland and pool setting. The timber colonnade sits well within the woodland context.</p>
<p>"Given the above, the proposed new buildings/structures may be considered to have a neutral impact on the openness of the MOL when assessed against existing however the materiality and colours will play an important role in helping to achieve this. Provided this is achieved, the proposals would meet para 149 b) and g) of the NPPF and therefore it is likely that 'very special circumstances' have been met in accordance with para 148."</p>	<p>Following the development of diagrams shown in Chapter 5, we are pleased that Planning Officers agree that the proposal sits will within the context of MOL.</p>

PRE-APP

RESPONSE MATRIX

COMMENT	RESPONSE
<p>"The concept, scale and design of the proposed buildings are generally appropriate and would represent an improvement on the dated, non-descript buildings on the site at present and the hostile fencing surrounding this part of the site... The entrance is clearly legible, and the new buildings will have a logic and appearance befitting the role they are required to carry out...the cafe building dates from the 1930s and is considered to contribute to the site's historic interest. It is quite a plain building and has suffered from some inappropriate alterations such as a roller shutter...The introduction of crittal [style] doors would be appropriate and attractive in the context of the building's age and style...There is some concern relating to the materials chosen for the extensions either side. These will need to work with the existing rendered and painted elevations, and a buff stone may not be appropriate in this context"</p>	<p>At the Pre-App meeting, Planning Officers supported the use of timber colonnades and glazed green brick for the entrance building. Following the pre-app meeting, concerns were raised regarding the suggestion of recycled content blockwork. We have since developed the material palette further (please refer to chapter 5 of the DAS) which shows that within the pool site itself we now propose a light coloured render above a glazed brick plinth. This is through looking at the history of the Lido, which typically exhibited a brick plinth and light coloured render on the cafe building.</p>
<p>"The colonnades, which take inspiration from the existing columns across the site and the verticality of the surrounding woodland, also works well with the design of the main entrance building and is visually tied in with this larger structure. There is a visual cohesion introduced that the current array of buildings lack...Overall, on design grounds this is a promising and attractive scheme, with only minor concerns raised"</p>	<p>We are pleased that Planning Officers are in agreement that the proposed timber colonnade complements the woodland setting and creates overall site coherence.</p>
<p>"Tree Officers have advised that there are a number of trees both on and off the site that are of importance, particularly given their size and age. As such, they have confirmed that a Tree Report and Arboricultural Impact Assessment should be submitted as part of any future application"</p>	<p>An Arboricultural Constraints Report and Arboricultural Impact Assessment was conducted by Simon Pryce Arboriculture.</p>

PRE-APP

RESPONSE MATRIX

COMMENT	RESPONSE
"As well as being MOL, the commons a Site of Metropolitan Importance for Nature Conservation and is also registered common land. The proposals should avoid any negative impacts on the common. As set out during the meeting on 22.02.23, the Biodiversity team (Enable) outlined concerns in relation to the vehicle access during construction together with the re-location of the cafe towards the western boundary of the site due to the potential increase in the number of people accessing this area and the impact that these would have on sensitive acid grassland habitat found here. It is understood that talks have been on-going with the Biodiversity team to address this, with the proposed cafe building and entrance building relocated into the site...Regarding other matters, the Biodiversity team welcome the submission of a bat survey and ecological impact survey as part of a full application"	A Preliminary Bat Habitat Assessment survey was undertaken by Furesfen. A Preliminary Ecological Assessment (PEA) and Preliminary Roosting Appraisal was undertaken by MKA Ecologists. Please refer to Chapter 4 of the Design and Access Statement to show a diagram of how we have moved the proposed entrance building further into the site to reduce the potential increase in the number of people impacting grassland habitat.
"Where a full application approved...a necessary mitigation and enhancement measures could be sufficiently dealt with by conditions relating to a CEMP"	A DRAFT CEMP and CMP has been prepared and submitted with the application.
"The level of cycle parking provision is welcomed. Further details would be required about the location and design of the proposed cycle parking which could be secured via a condition as a part of a future application"	Further details of cycle parking have been discussed in Chapter 6 of the DAS .
"No details of external bin storage and management have been provided however this should meet the waste storage standards outlined within the Council's Refuse and Waste SPD (2015)"	Further details of waste storage have been discussed in Chapter 6 of the DAS .
"As part of the site falls within a critical drainage area and the site is at risk of surface water flooding, a flood risk assessment will be needed"	A flood risk assessment has been prepared and submitted with the application.
"Officers are broadly satisfied with the scale and design of structures proposed; however, aspects such as the materiality could be explored and refined further to help achieve this. It may also be useful to provide plans overlaying proposed structures on existing footprints/elevations to demonstrate the overall impact on openness would be reduced or at least remain neutral"	We are pleased that Planning Officers are broadly satisfied with the proposals. Following this meeting, we have further refined the proposed materials (Chapter 5) and produced overlays to show the neutral impact between existing and proposed (Chapter 5).
"It is also proposed to erect a new sauna"	It should be noted that the sauna is an existing building that we are repositioning as part of the proposal and not a new structure.

ENABLE MEETING

MEETING 22.02.23

Following the very positive meeting with Wandsworth Planners, concerns were raised by Wandsworth’s Biodiversity team (Enable) regarding the proposal to have a café kiosk facing the Common. WR-AP and representatives of the SLSC met with the planning department of Wandsworth, Enable Leisure and Culture and Wandsworth Councillors to discuss the issues raised. The overarching concern was that the café would lead to an increase in footfall and thus risk of overflow of people spilling off the path onto the sensitive acid grassland of the Common. In response, the team moved the entrance building in by approximately 1.7m to create more space within the pool boundary for people coming to the café kiosk, reducing the risk of overspill onto the acid grassland. This move is shown in the adjacent drawings.

Meanwhile, concerns were raised regarding the resultant increase in litter. It was discussed following the meeting that there would be bins located close to the kiosk - these would need to be agreed with Planning Authorities and relevant local groups prior to being finalised. A waste strategy for the proposal is detailed in chapter 6 of this report.

Following the meeting, WR-AP commissioned MKA Ecologists to conduct a Preliminary Ecological Appraisal and Preliminary Roosting Appraisal of the site and they also met with Enable to discuss any further concerns/impact mitigation ideas. A Bat Habitat Assessment by Furesfen was also conducted as well as a DRAFT CEMP and CMP. These form part of this planning application.

PLAN PRIOR TO MEETING WITH ENABLE



Area in front of building: Approx. 20sqm

REVISION TO PLAN POST MEETING



Area in front of building: Approx. 57sqm

EXHIBITION

PUBLIC EXHIBITION 25.02.23

On the 25.02.23 WR-AP presented the design development since the public consultation sessions in November to the public at the Woodfield Pavilion on Tooting Common.

A lot of those who attended the session had been to the previous consultation session in November 2022 and were pleased to see the amount the design team had taken on board following their feedback.

TOOTING BEC LIDO DEVELOPMENT

In April 2022, a design team consisting of WR-AP Architects, mstep (Mechanical, Electrical and Plumbing Engineers), White and Lloyd (Cost Consultants) and Studio Allen (Structural Engineers) won a competition to re-imagine the entrance, WC and shower facilities at Tooting Bec Lido. The existing facilities are tired, with insufficient facilities for busy days at the pool. Working collaboratively with the South London Swimming Club (SLSC), the team have worked through numerous options (shown on this board), from full refurbishment to various iterations of a new building to integrate the SLSC brief for an uplift and improvement on the existing facilities at Tooting Bec Lido. Over time the brief has also evolved to integrate a new cafe that faces both Tooting Common and the pool to increase viability.

OUR JOURNEY

SKETCH DESIGN: Refurbishment - Gender Neutral (This design was presented in March 2022)

SKETCH DESIGN: Refurbishment - Male/Female Split (This design was presented in May 2022)

A New Entrance & Beginning to Integrate the Cafe (This design was presented in June 2022)

Building Within the Constraints (This design was presented in August 2022)

CONSULTATION SCHEME (NOV '22) & CURRENT SCHEME (FEB '23)

The below drawing shows the previous design in November 2022. We have taken on board many of the comments made in the sessions to arrive at the current design proposed below.

WHAT ARE OUR AIMS?

- INCREASE THE NUMBER OF TOILETS AND SHOWERS
- CREATE MORE INCLUSIVE FACILITIES (Gender/Cultural/Accessibility)
- IMPROVED ACCESS CONTROL AND WELCOMING APPROACH
- MORE SUSTAINABLE BUILDINGS
- INTEGRATE THE CAFE WITH TOOTING COMMON USERS TO INCREASE VIABILITY
- USE PERIMETER CHANGING AS A MODEL TO PROVIDE GENDER NEUTRAL TOILETS AND SHOWERS

RESPONDING TO YOUR FEEDBACK

- IN THE FIRST DESIGN, WCs AND SHOWERS WERE ENTIRELY SEPARATE. WE HAVE NOW INTEGRATED A NUMBER OF WCs INTO THE SHOWER BLOCKS AS REQUESTED
- WE HAVE RELOCATED THE PRIVATE SHOWER CUBICLES TO THE POOL EDGE RATHER THAN INTERNALLY
- WE HAVE REMOVED THE WCs AROUND THE POOL EDGE AND POSITIONED THEM TO THE NORTH OF THE SITE
- WE HAVE INTEGRATED AN ADDITIONAL ACCESSIBLE SHOWER AS WELL AS A CHANGING PLACES ROOM
- WE HAVE ENSURED CYCLE STORAGE PROVISION MATCHES THE EXISTING NUMBER WHILST INCREASING THE SURVEILLANCE OF THIS FROM THE SECURITY ROOM/RECEPTION
- THE SALINA IS BEING RETAINED AND BETTER INTEGRATED WITH THE SITE LAYOUT

WE WILL BE USING MATERIALS THAT ARE BOTH SUSTAINABLE, RESILIENT AND SENSITIVE TO THE LEGACY OF THE LIDO AND THE CONTEXT

INDICATIVE PROGRAMME

MARCH 2022: WR-AP & Team Registered by the SLSC
MAY - OCTOBER 2022: Design & Brief Development
NOVEMBER 2022: Engagement with SL Members
DECEMBER 2022 - FEBRUARY 2023: Design Development
FEBRUARY 2023: Pre-Application
FEBRUARY 2023: Public Exhibition
MARCH 2023 (TRC): Planning Application
SUMMER 2023 (TRC): Tendering Begins
Start on Site - dependent on Funding
TRC: dependent on Funding

WRAP

THE MASTERPLAN

The adjacent drawing shows the proposed scheme from above. In the proposal, the existing tired shower/WC facilities have been replaced by a new entrance building encompassing reception, WCs, security accommodation and cafe. The cafe serves through two look hatches - one facing the Common, the other facing the pool. Meanwhile, it is intended that the existing cafe building will be refurbished (subject to building survey) to become a summer shelter/winter club room. Shower blocks either side of this retained building are also proposed, providing an uplift in facilities. The existing sauna is relocated whilst new gender neutral showers and family changing are built around the pool edge. Gender neutral WCs are provided to the north of the site.

Architecturally, the proposed buildings feature colonnades, taking inspiration from the existing columns across the site and the verticality of the surrounding woodland whilst also providing shelter. The facades facing the Common consist of a glazed green brick which is both resilient and sensitive to the surrounding greenery. For the facades facing the Lido, we proposed a blue glazed brick pinst with recycled content blockwork above. The scheme features green roofs to promote biodiversity and solar panels to harness clean energy.

Key:

- Entrance
- Cafe (look hatches to Common and pool)
- WCs
- Male shower
- Summer shelter/winter club room
- Shower
- San located sauna
- Gender neutral showers
- Gender neutral WCs
- Lockers
- External showers
- Security
- Reception
- Changing facilities
- Swimming terrace
- San bathing terrace
- Plant room
- Salina
- Storage
- Family changing

PROPOSED SITE PLAN **PROPOSED AXONOMETRIC**

WRAP

PROPOSED PLAN

This board shows the proposed plan of the facilities at Tooting Bec Lido, incorporating an improved entrance building with improved WC facilities, an integrated cafe with Common and possible terraces, a summer shelter/winter club room, improved shower facilities with uplift in facilities, and gender neutral showers around the pool edge. The table below shows how the proposals are an improvement on the existing provision.

EXISTING	PROVISION	PROPOSED
18 (DETAIL: MALE & ACCESSIBLE PROVISION)	SHOWERS	27 (DETAIL: MALE & GENDER NEUTRAL PROVISION)
0 (DETAIL: MALE & ACCESSIBLE PROVISION)	WCs	22 (DETAIL: MALE, GENDER NEUTRAL & ACCESSIBLE PROVISION)
1	EXTERNAL SHOWERS	9
80	CYCLE STORAGE SPACES	80
N	GENDER NEUTRAL BABY CHANGE	Y
N	CHANGING PLACES ROOM	Y
N	GENDER NEUTRAL SHOWERS	Y
N	GENDER NEUTRAL WCs	Y
Y	ENTRANCE CONTROL	Y
Y	CAFE	Y
N	RECEPTION	Y
N	SECURITY CONTROL	Y
N	SUMMER SHELTER/WINTER CLUB ROOM	Y

SUSTAINABILITY STRATEGY

ENERGY APPROACH DIAGRAM (Image Courtesy of mstep)

WATER EFFICIENCY DIAGRAM - GREY WATER RE-USE (Image Courtesy of mstep)

WE ARE CONSIDERING:

- GROUND SOURCE HEAT PUMPS
- PHOTOVOLTAICS ON ALL ROOFS
- HEAT PUMP USING MAIN POOL FILTRATION SYSTEM
- GREY WATER TANK (E.G. UTILISING SHOWER WATER TO FLUSH WCs)
- LOW EMBODIED CARBON MATERIALS (SUCH AS TIMBER)
- GREEN ROOFS TO ENHANCE BIODIVERSITY
- UTILISING MATERIALS WITH RECYCLED CONTENT
- MATERIALS FROM DEMOLITION TO BE RECYCLED

PROPOSED FLOOR PLAN

WRAP

KEY VIEWS

The visuals on this board show what the proposed new facilities could look like on the site.

The first view looks towards the new entrance of the Lido from Tooting Common. Here you can see the look to the cafe and colonnade entrance. The materiality is glazed green brickwork which is both resilient and sensitive to the woodland context.

The second view looks towards the refurbished shelter and shower facilities. This view celebrates the symmetry of the new proposal. In terms of materiality, the proposed elements feature a blue glazed brick pinst with recycled content blockwork above and colourful doors, complementing the existing changing facilities. The refurbished building is re-rendered, with new glazed openings opening up the view through to the meadow. Again, the timber colonnade references the woodland context whilst creating moments of shelter.

The next step for the project is to take it to planning.

KEY SITE PLAN **VIEW OF THE PROPOSED ENTRANCE TO TOOTING BEC LIDO** **VIEW OF THE PROPOSED SUMMER SHELTER/WINTER CLUB ROOM AND SHOWER FACILITIES FROM THE LIDO**

WRAP

Engagement boards

EXHIBITION

PUBLIC EXHIBITION 25.02.23

The below images show photographs from the public exhibition on the 25.02.23.



Public exhibition photos

THE PROPOSAL

THE PROPOSAL

AXONOMETRIC - FORM AND SCALE

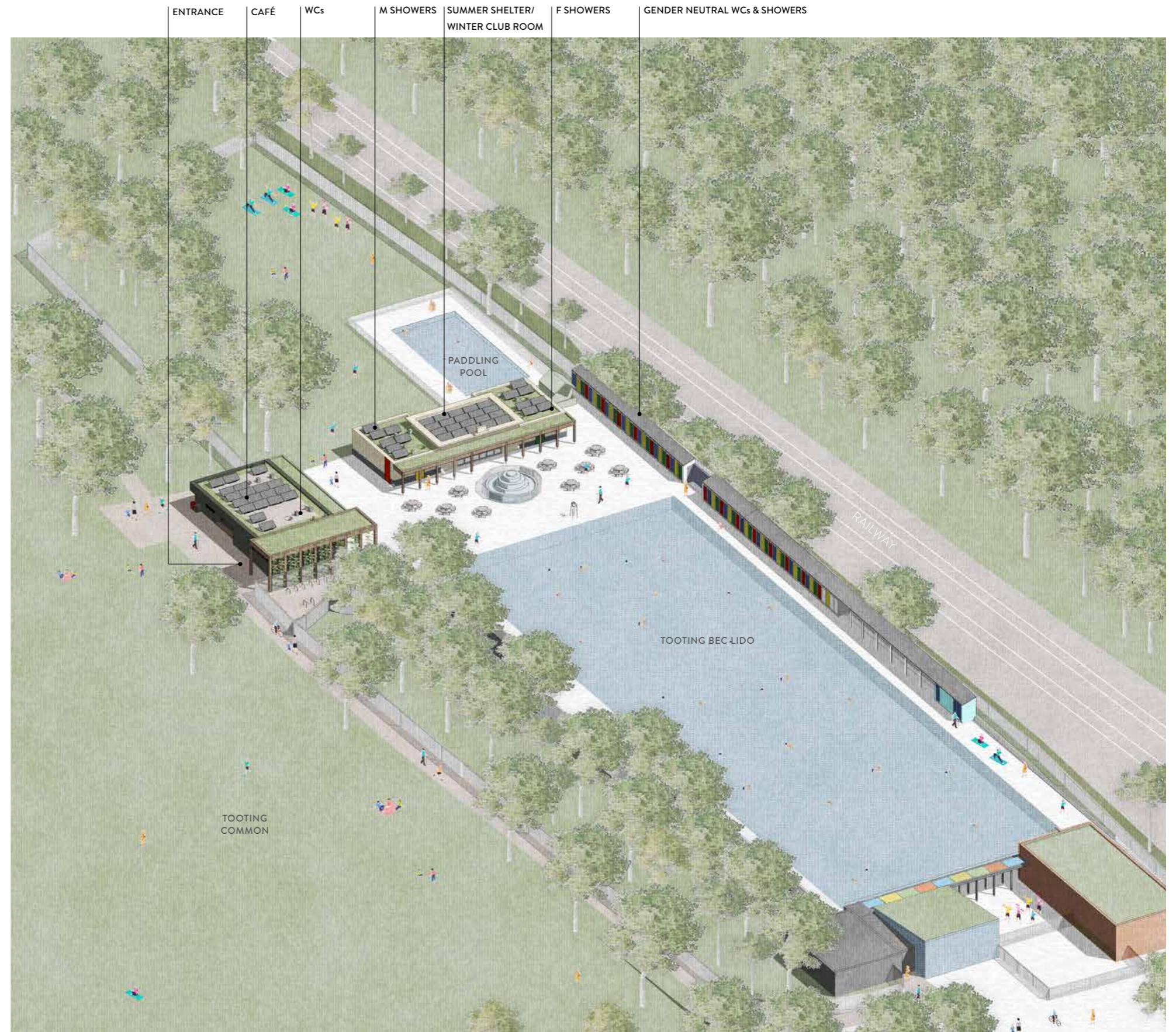
This chapter discusses the final design of the proposal being submitted for planning. The adjacent drawing shows the proposed scheme from above. In the proposal, the existing circular tired shower/WC facilities are demolished and replaced by a new entrance building encompassing a reception, male and female WCs, an accessible WC and baby change, accessible WC and shower, security accommodation (overlooking the bike storage area) and café. The café serves through 2 kiosk hatches – one facing the Common, the other facing the pool. Meanwhile, it is intended that the existing café building will be refurbished (subject to building surveys) to become a summer shelter/winter club room. Shower blocks either side of this retained building are also proposed, providing an uplift in facilities. This building also houses plant and a Changing Places Room, increasing overall accessibility at the Lido.

The existing sauna is also relocated to better integrate it with the rest of the scheme whilst new gender neutral shower, family changing and storage facilities are built around the pool edge. To accommodate these facilities, part of the existing strip of storage on the pool edge is demolished, with the same language of the cubicles then extended. There is also the proposal for additional external showers. As the proposed buildings are single storey, their scale is similar to that of the building being demolished.

It should also be noted that the galvanised steel fence that current screens the circular entrance/changing buildings is removed and the proposed entrance building itself becomes the boundary. This creates a more welcoming approach to the Lido.

Architecturally, the proposed buildings feature colonnades, taking inspiration from the existing columns across the site and the verticality of the surrounding woodland whilst also providing shelter. The facades facing the Common consist of a glazed green brick which is both hardwearing and sensitive to the surrounding greenery. For the facades facing into the Lido, we propose a blue glazed brick plinth (a nod to the existing language of buildings on site) with render above. Most of the roofs will be green, increasing biodiversity, whilst also having solar panels.

Significantly, following the Pre-Application, Planning Officers were supportive of the proposal *“Overall, on design grounds this is a promising and attractive scheme, with only minor concerns raised”*.



Proposed axonometric

THE PROPOSAL

CELEBRATING SYMMETRY

A key design driver was to respond to the symmetry of the Lido. We looked to the original entrance building (below), characterised by its central element with sweeping sides. We then looked to the site as a whole, with its symmetrical cubicle sides and the centring of the fountain on the pool. We thus sought to create symmetry through our proposal, adding wings to the existing café – a nod to the former entrance – and centralising this on the pool.



Remembering the old entrance



Celebrating the current symmetry

Key
 Symmetry

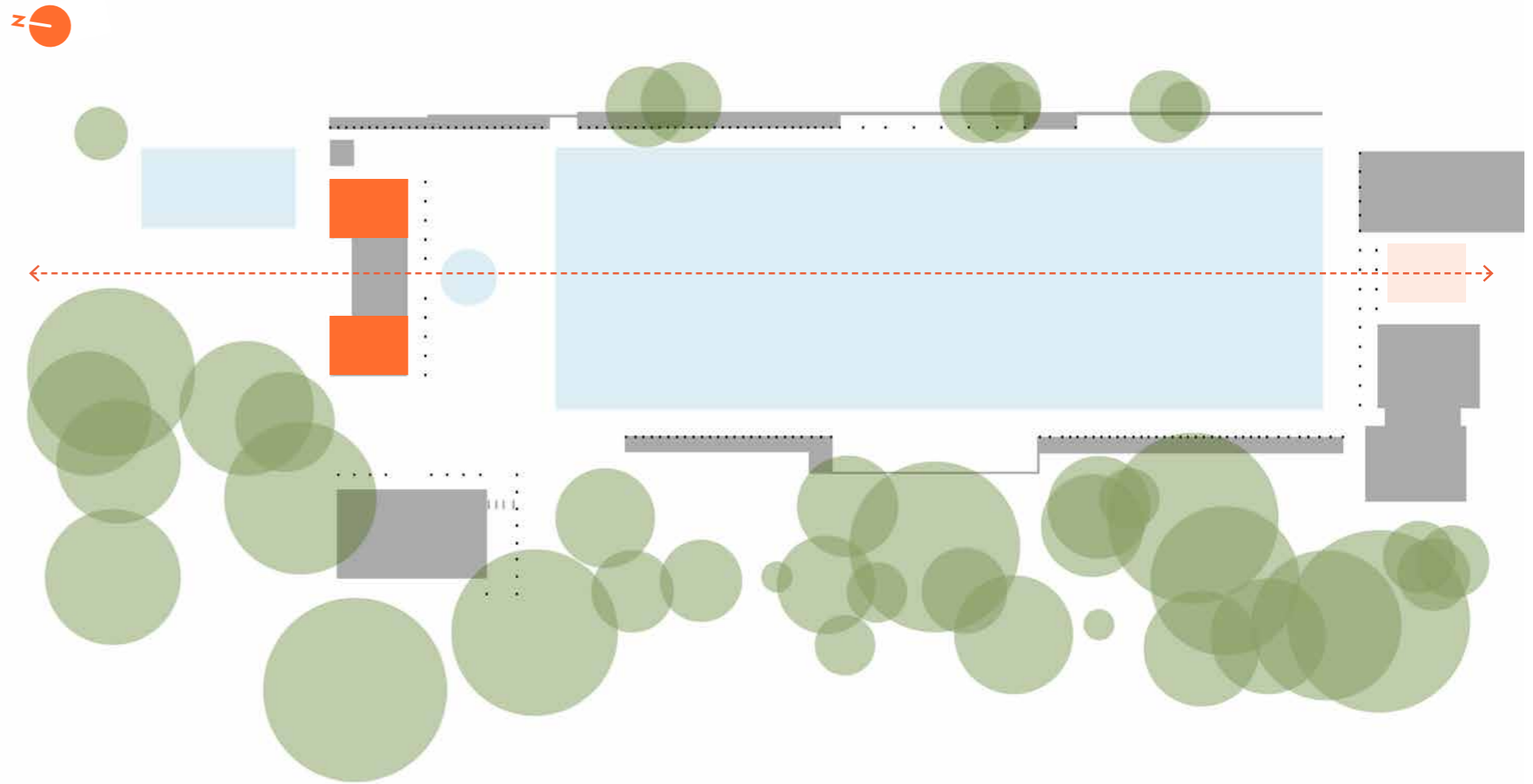



Diagram showing symmetry

THE PROPOSAL

CREATING PERMEABILITY

A key design driver for the proposal has been the colonnade, which serves the purpose of providing shelter whilst also tying into the motif found across the Lido, from rhythm of the white timber columns between the colourful cubicles to the steel colonnades on pavilion and proposed pump house. Our reason for using timber is to complement the surrounding woodland. The continuation of this motif creates a internal filigree to the internal face of the Lido.

Notably, the colonnades were welcomed by Planning Officers in the Pre-Application meeting, *“the colonnades, which take inspiration from the existing columns across the site and the verticality of the surrounding woodland, also works well with the design of the main entrance building and is visually tied with this larger structure. There is visual cohesion introduced that the current array of buildings lack...Overall, on design grounds this is a promising and attractive scheme, with only minor concerns raised”*.

Key
 Buildings
 Colonnade

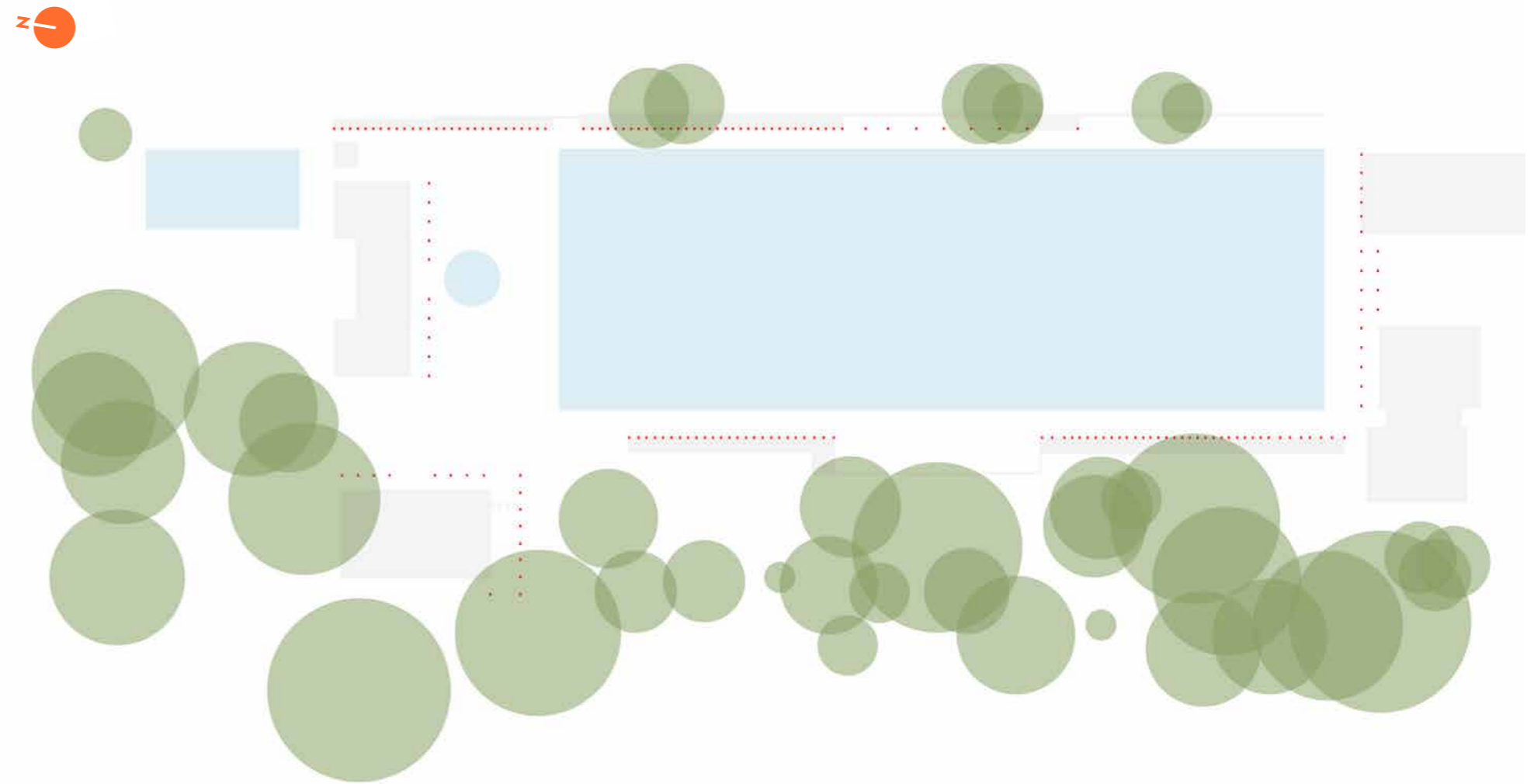


Diagram showing continuity of the colonnade



Timber Colonnades Between Cubicles



Steel Colonnade at the Deep End



Proposed Timber Colonnade

THE PROPOSAL

A SOLID FACE

With the permeability of the internal facing colonnades, we decided this approach would not be feasible for the Common facing façade. Indeed, looking at the site, the elevations of existing buildings are more solid in material compared to their pool facing counterpart. We have tapped into this language, integrating a more solid language to the perimeter faces to create a more resilient outer face to the project.

Key
— Solid face

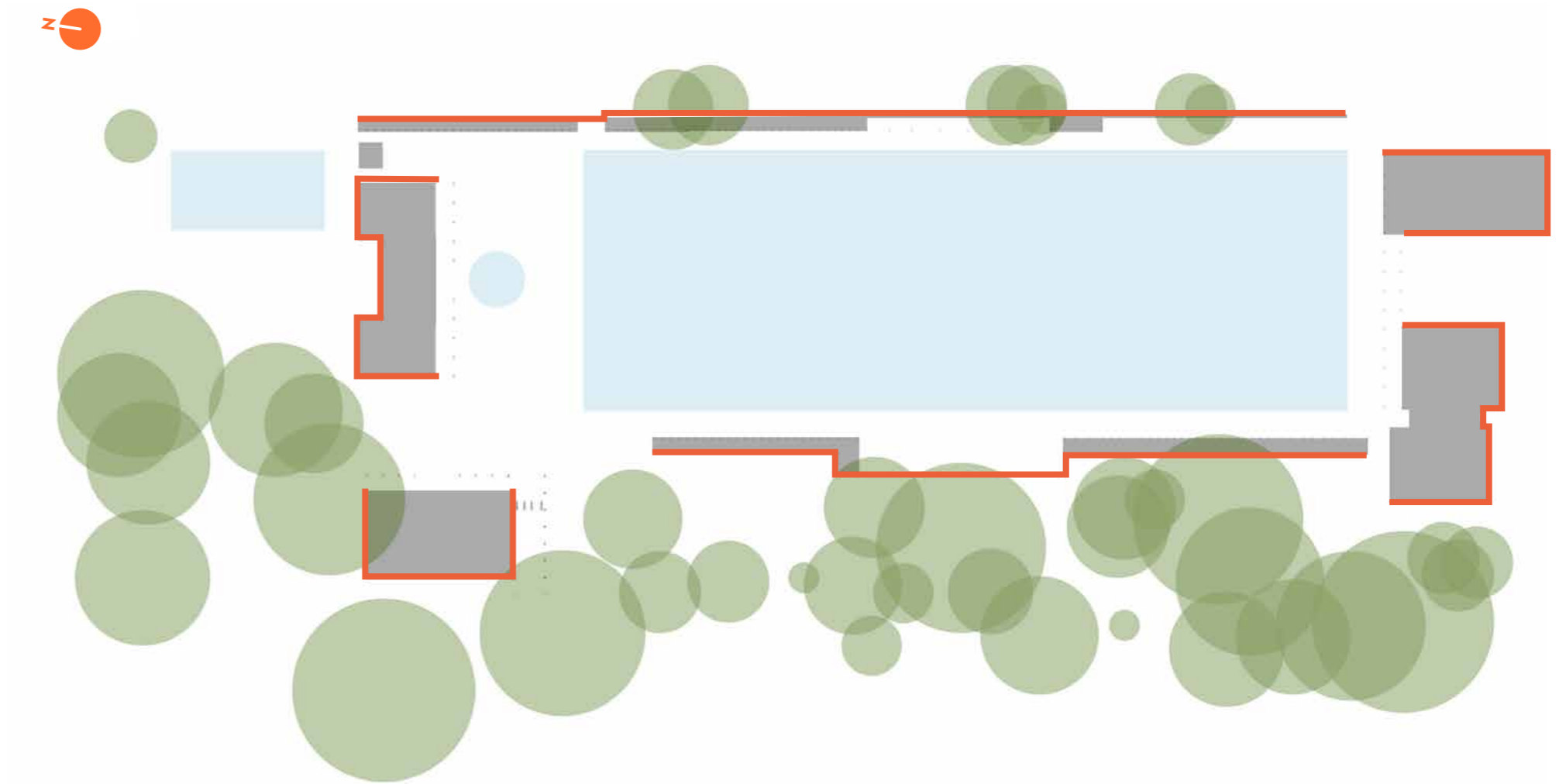


Diagram showing symmetry



Solid Rear of the Pavilion



Solid Rear of the Pump House



Proposed Entrance

THE PROPOSAL

BUILDING AS A FENCE

To make the entrance to the scheme more welcoming, we propose removing the proportion of fence that currently closes off the entrance of the Lido to the Common. Instead, the perimeter wall of the proposed building becomes the boundary. Notably, Planning Officers praised the removal of the fence in their Pre-Application advice “the concept, scale and design of the proposed buildings are generally appropriate and would represent an improvement on the dated, non-descript buildings on the site at present and the hostile fencing surrounding this part of the site”.



Portion of fence to be removed to create a friendlier approach

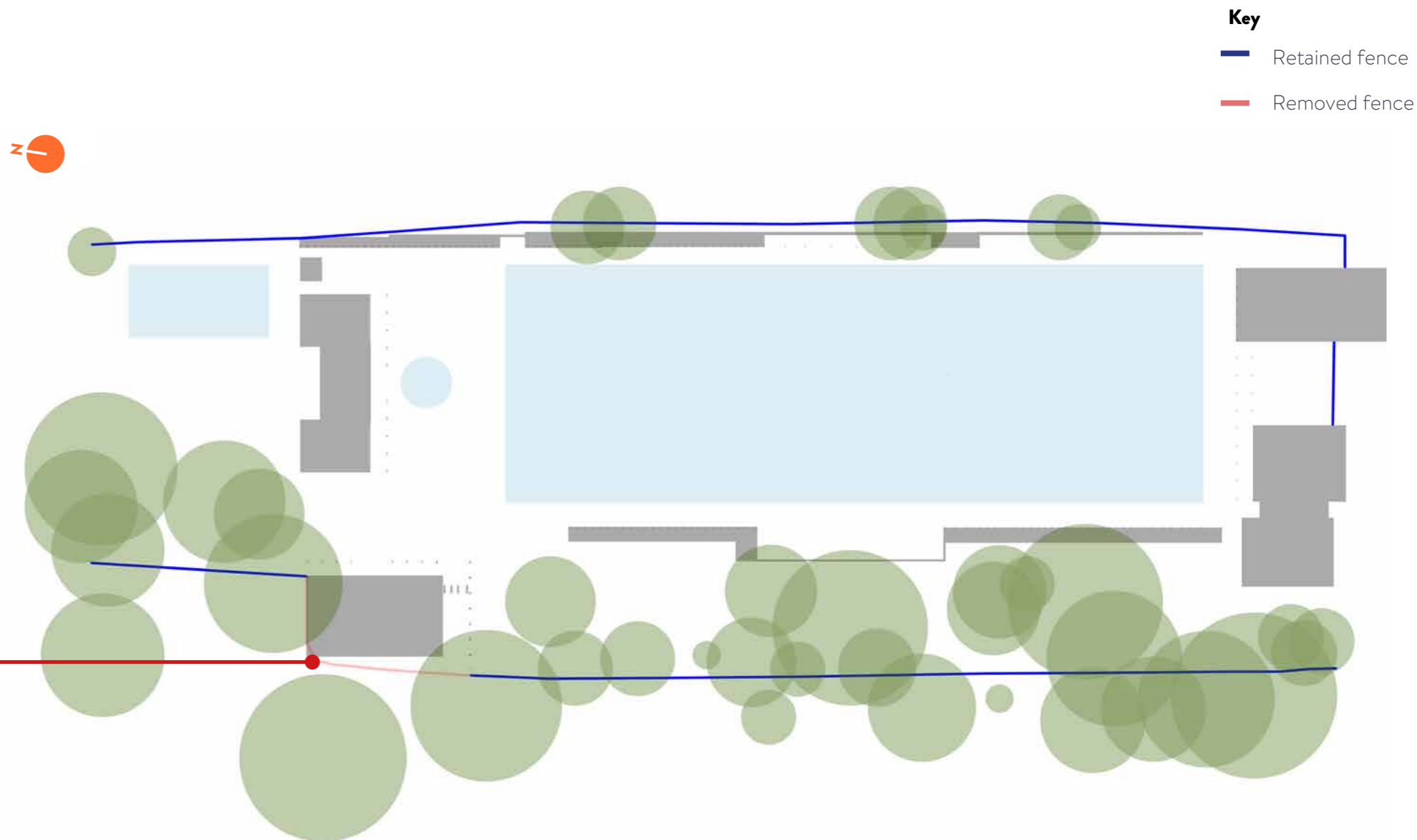


Diagram showing the building as a fence

THE PROPOSAL

BUILDING AS WIND PROTECTION

The removal of the southern wall and western buildings to accommodate the new entrance built in 2022 led to current swimmers using the Lido complaining there is often a wind chill at the shallow end of the pool. The two shoulder blocks situated adjacent to the existing café building helps to add wind protection to the pool.

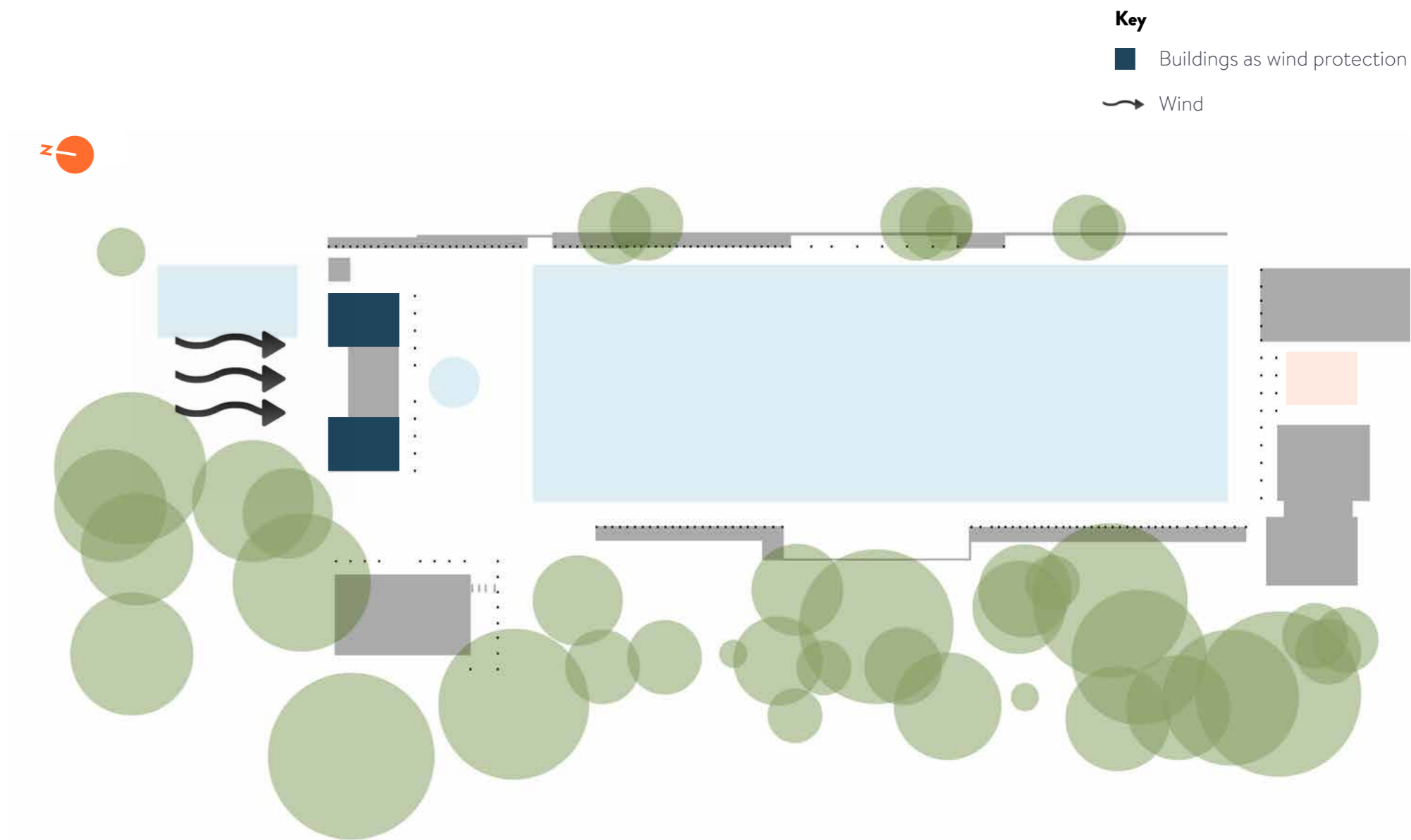


Diagram showing the buildings as wind protection

THE PROPOSAL

VISUAL CONNECTIONS

By opening up the facade of the refurbished café building, views can be created across the length of the pool, through the meadow, creating an improved line of site. The design could echo the original openings of the café building shown below.

Notably, Planning Officers supported this move *“The introduction of critical [style] doors would be appropriate and attractive in the context of the building’s age and style”*.



Historic photo of the café building - Image courtesy of the SLSC/ Julia Clarke

Key
 Visual connection

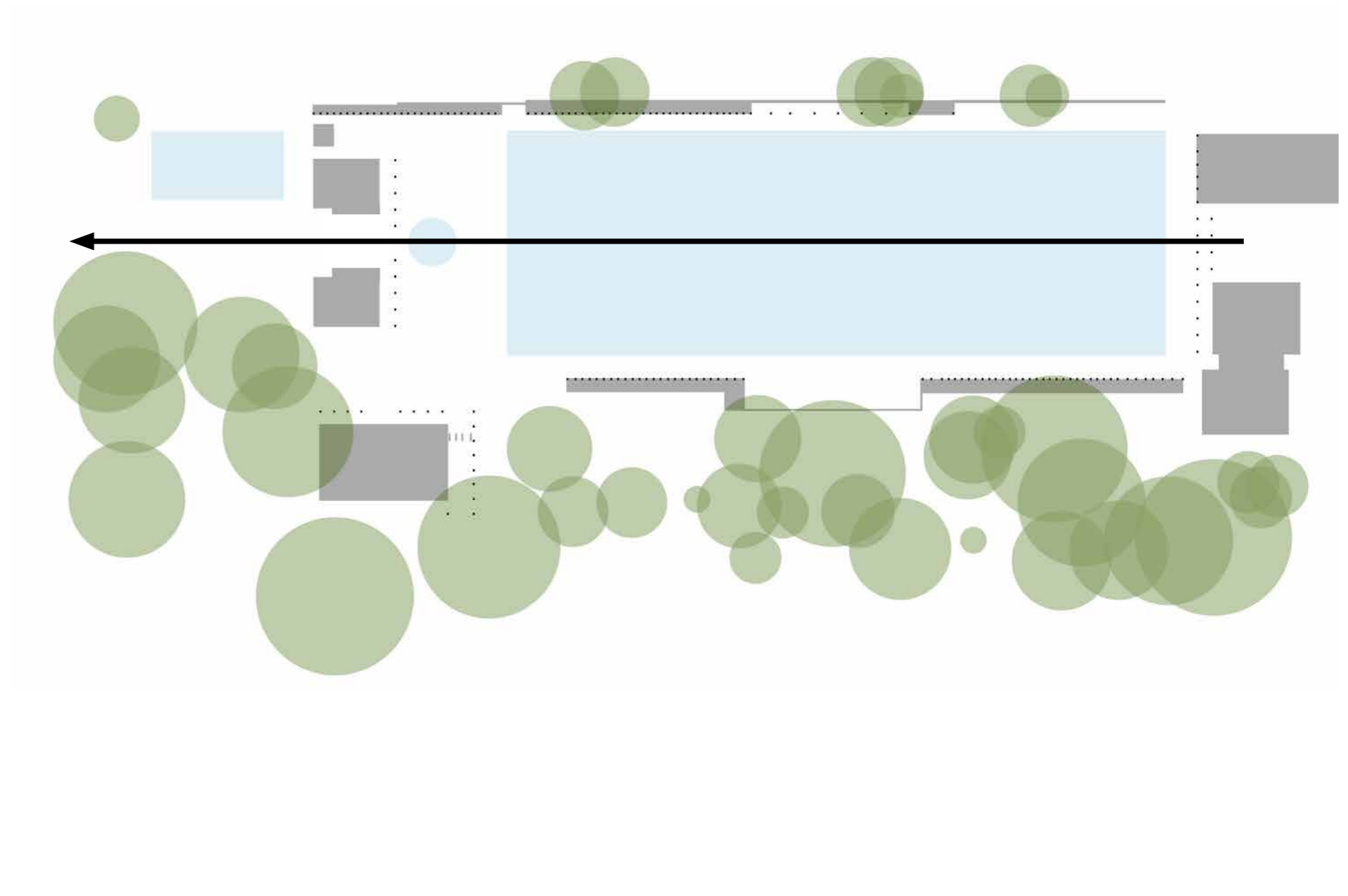
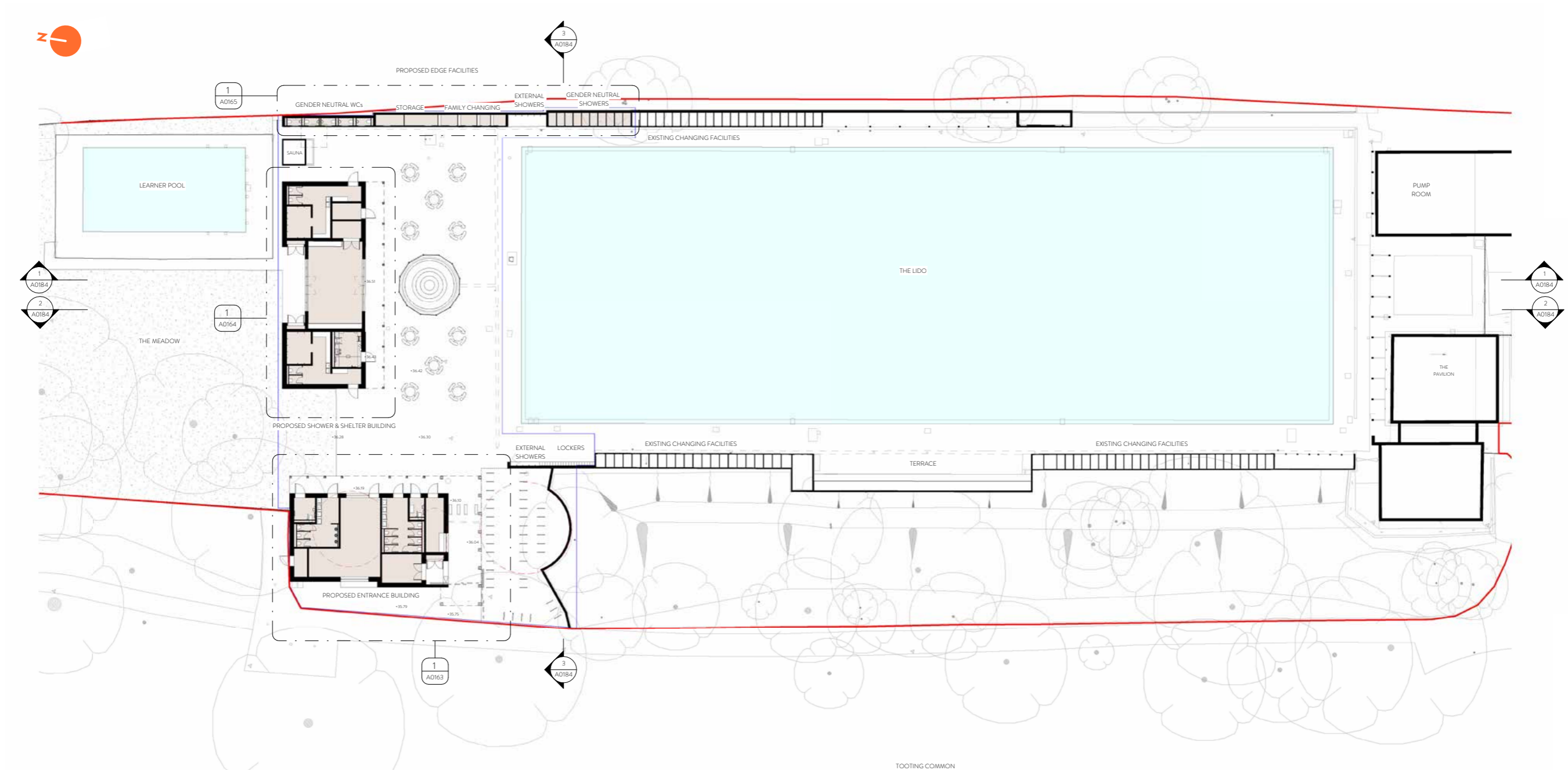


Diagram showing visual connections

THE PROPOSAL

SITE PLAN

The below drawing shows the proposed site plan integrating the proposal.



- = Indicative site boundary
- = Proposed area to be developed (Indicative planning application boundary)

Proposed site plan - NTS

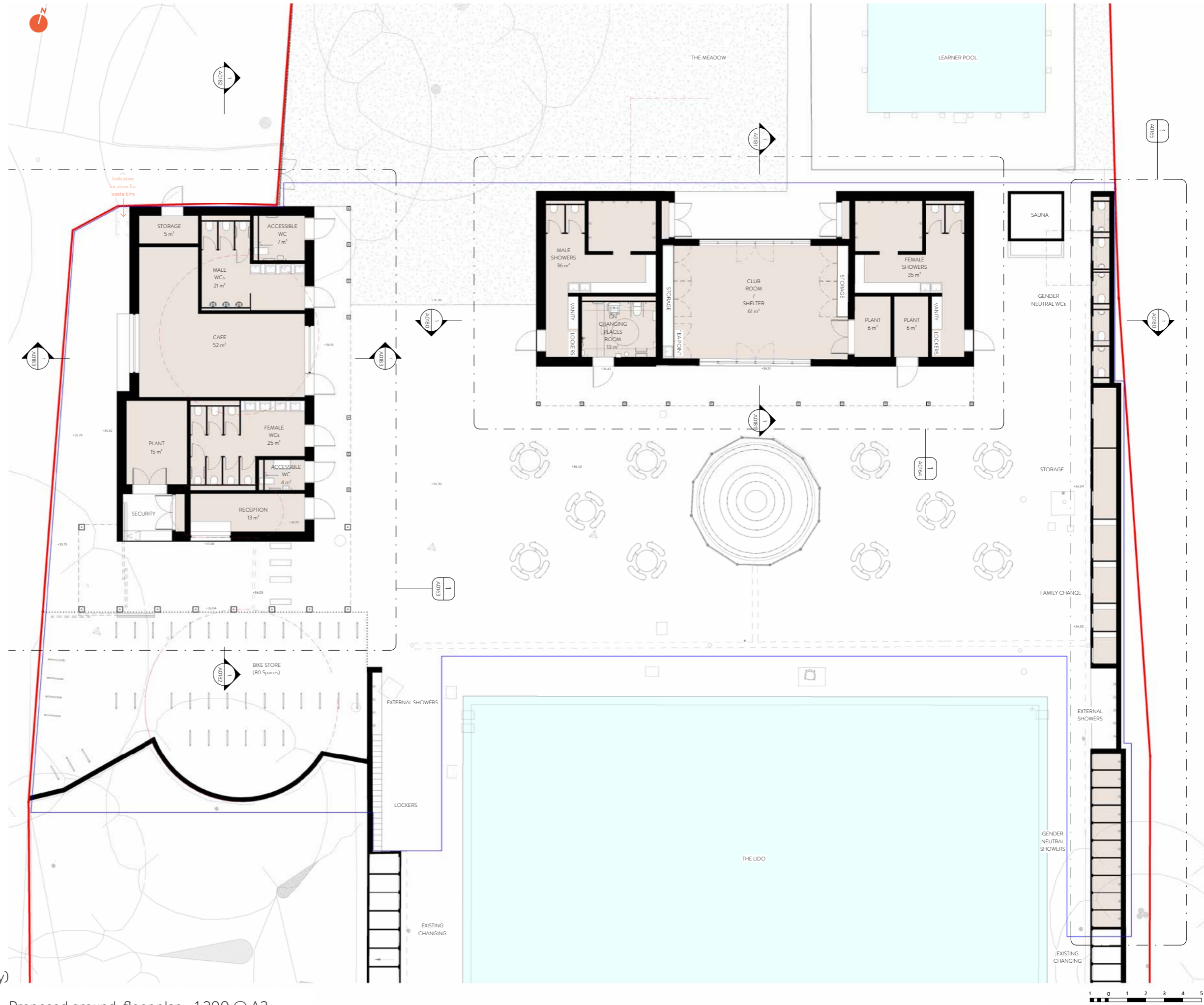


THE PROPOSAL

GROUND FLOOR PLAN

The adjacent drawing shows the proposed ground floor plan for the design proposal, incorporating: the improved entrance sequence, improved WC and accessible WC facilities, integrated café with Common and poolside serveries, the shelter/club room, improved shower facilities, Changing Places Room and gender neutral WCs, showers, storage and family changing around the eastern edge.

Notably, Planning Officers were “broadly satisfied with the scale and design of structures proposed”.



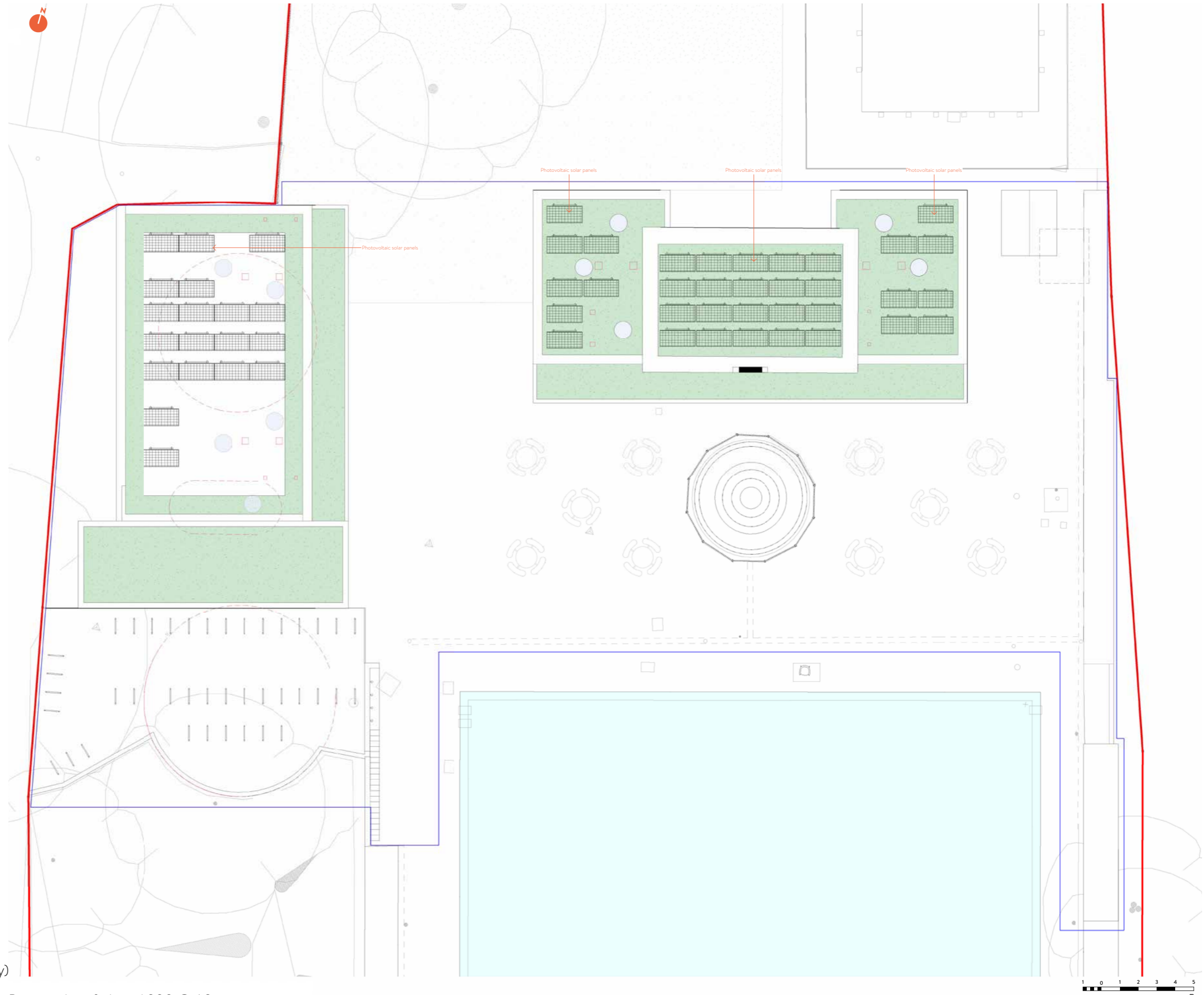
- = Indicative site boundary
- = Proposed area to be developed (Indicative planning application boundary)

Proposed ground floor plan - 1:200 @ A3

THE PROPOSAL

ROOF PLAN

The adjacent drawing shows the proposed roof plan of the proposal. The colonnades all feature a biodiverse green roof. The shower/shelter block all feature a green roof whilst the roof of the entrance/WC building has a green border (due to the trees surrounding this building casting shade we do not propose a full green roof here). Solar photovoltaic panels are also proposed across the roofs as well as rooflights bringing light into a number of internal spaces. Green roofs were welcomed within the Preliminary Ecological Assessment submitted with this application.



- = Indicative site boundary
- = Proposed area to be developed (Indicative planning application boundary)

Proposed roof plan - 1.200 @ A3

THE PROPOSAL

AREAS

The table below shows the proposed areas vs the existing.

NIA = NET INTERNAL AREA
 GIA = GROSS INTERNAL AREA
 GEA = GROSS EXTERNAL AREA

EXISTING FACILITIES

NIA - EXISTING FACILITIES		GIA - EXISTING FACILITIES	
SPACE	SQM (NIA)	SPACE	SQM (GIA)
Café	48	Café	62
Plant in café building	13	Reception	12
Reception	12	Male change/showers/WCs	49
Male change/showers	24	Female change/showers	73
Male WCs	18	Pool Edge Storage*	40
Plant in male facilities	3		236
Female change/showers	27	GEA - EXISTING FACILITIES	
Female WCs	31	SPACE	SQM (GEA)
Plant in female facilities	3	Café	70
Baby change in female facilities	3	Reception	16
Accessible WC/shower in female facilities	5	Male change/showers/WCs	58
Pool Edge Storage*	39	Female change/showers	85
	226	Pool Edge Storage*	52
			281

Based on survey information by Castle Surveys

*Facilities around the pool edge do not have a measured survey so numbers may vary slightly

PROPOSED FACILITIES

NIA - PROPOSED FACILITIES		GIA - PROPOSED FACILITIES	
SPACE	SQM (NIA)	SPACE	SQM (GIA)
BUILDING 1		BUILDING 1	151
Security	5	BUILDING 2	169
Reception	13	EXTERNAL SHOWERS/ STORAGE/FAMILY CHANGING*	41
Plant	15		361
Accessible WC	4	GEA - PROPOSED FACILITIES	
Female WCs	25	SPACE	SQM (GEA)
Cafe	52	BUILDING 1	178
Storage	5	BUILDING 2	200
Male WCs	21	EXTERNAL SHOWERS/ STORAGE/FAMILY CHANGING*	56
Accessible WC/Shower	7		434
Plant Cupboard	1	OVERALL UPLIFT OF 153sqm (GEA)	
BUILDING 2			
Club room / shelter	61		
Plant	6		
Plant	6		
Changing Places Room	13		
Male showers	36		
Female Showers	35		
Plant Cupboard	2		
EXTERNAL SHOWERS/ STORAGE/FAMILY CHANGING*			
Gender neutral WCs	9		
Storage	9		
Family change	10		
External showers	8		
Gender neutral showers	14		
	355		

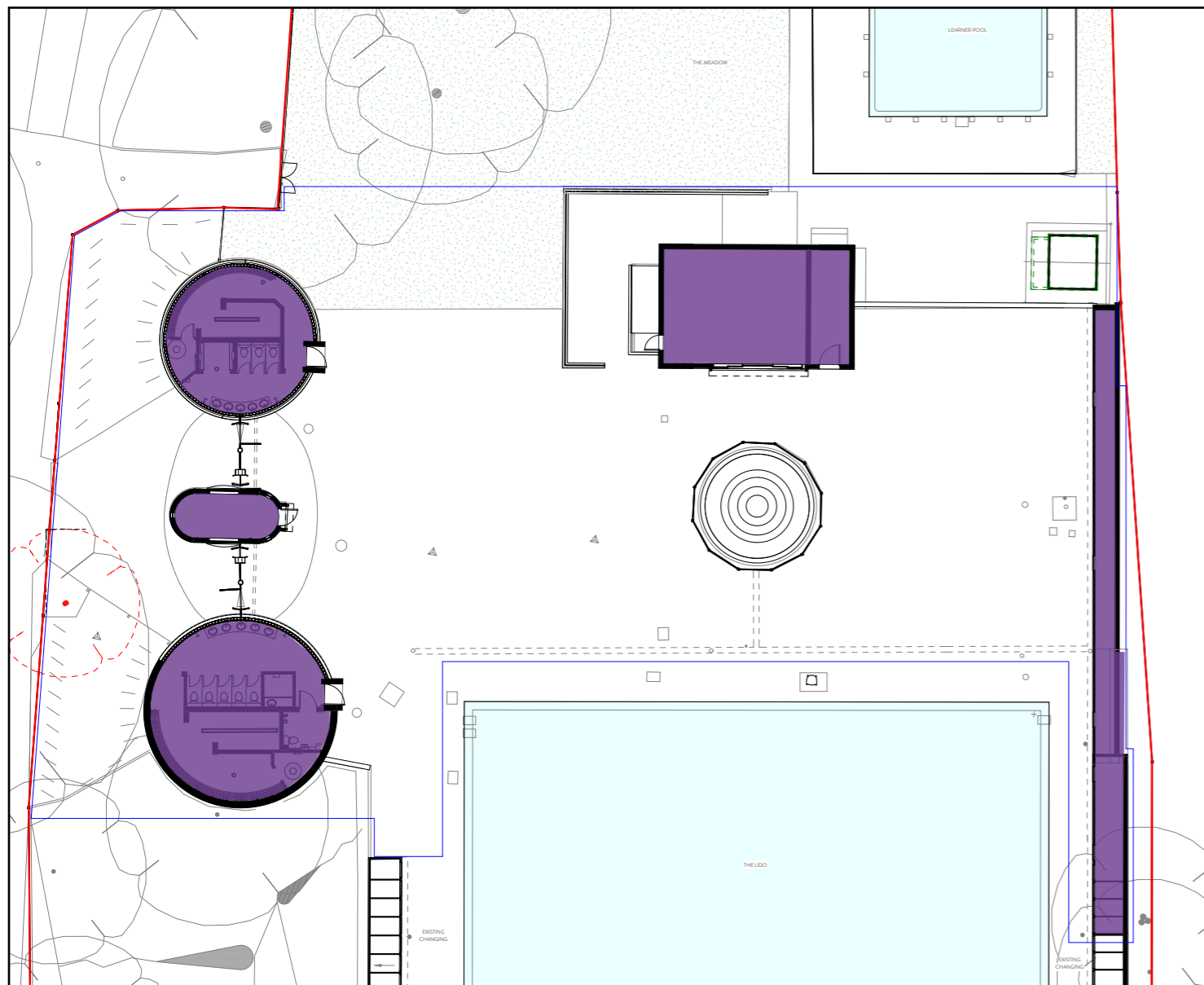
*Facilities around the pool edge do not have a measured survey so numbers may vary slightly

= Refurbishment

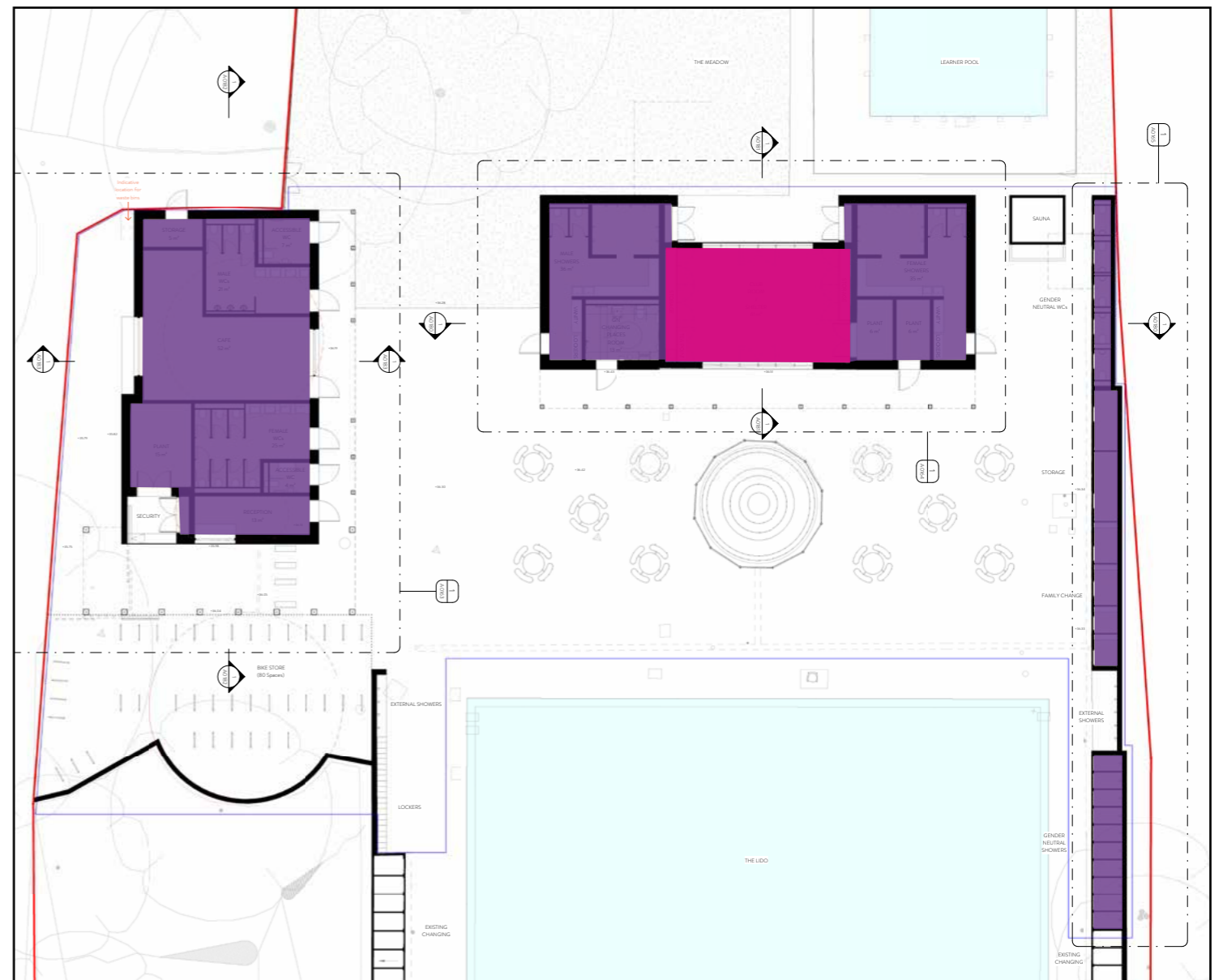
THE PROPOSAL

AREAS - MEASURING GIA

EXISTING FACILITIES



PROPOSED FACILITIES



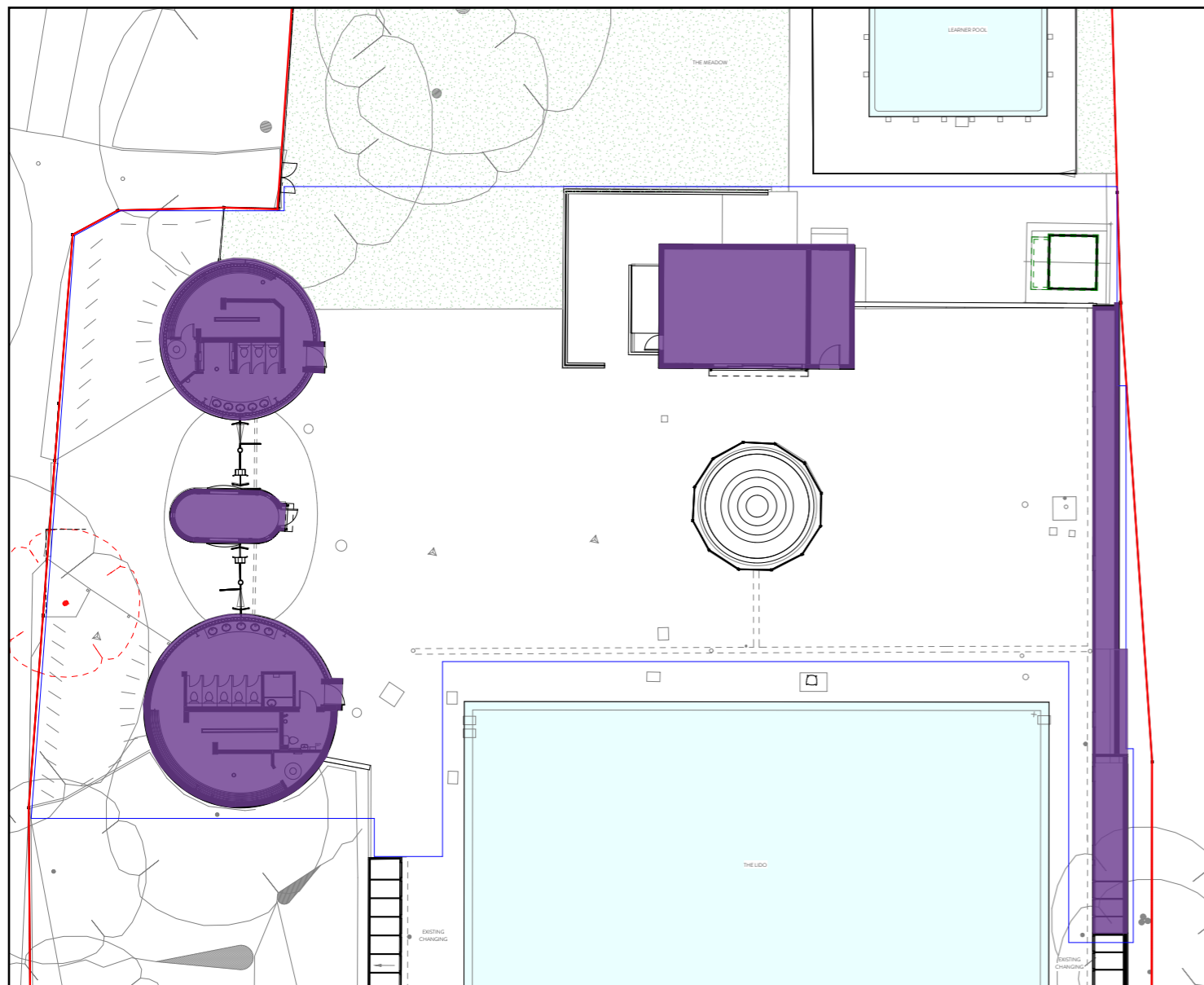
■ = GIA

■ = Refurbishment

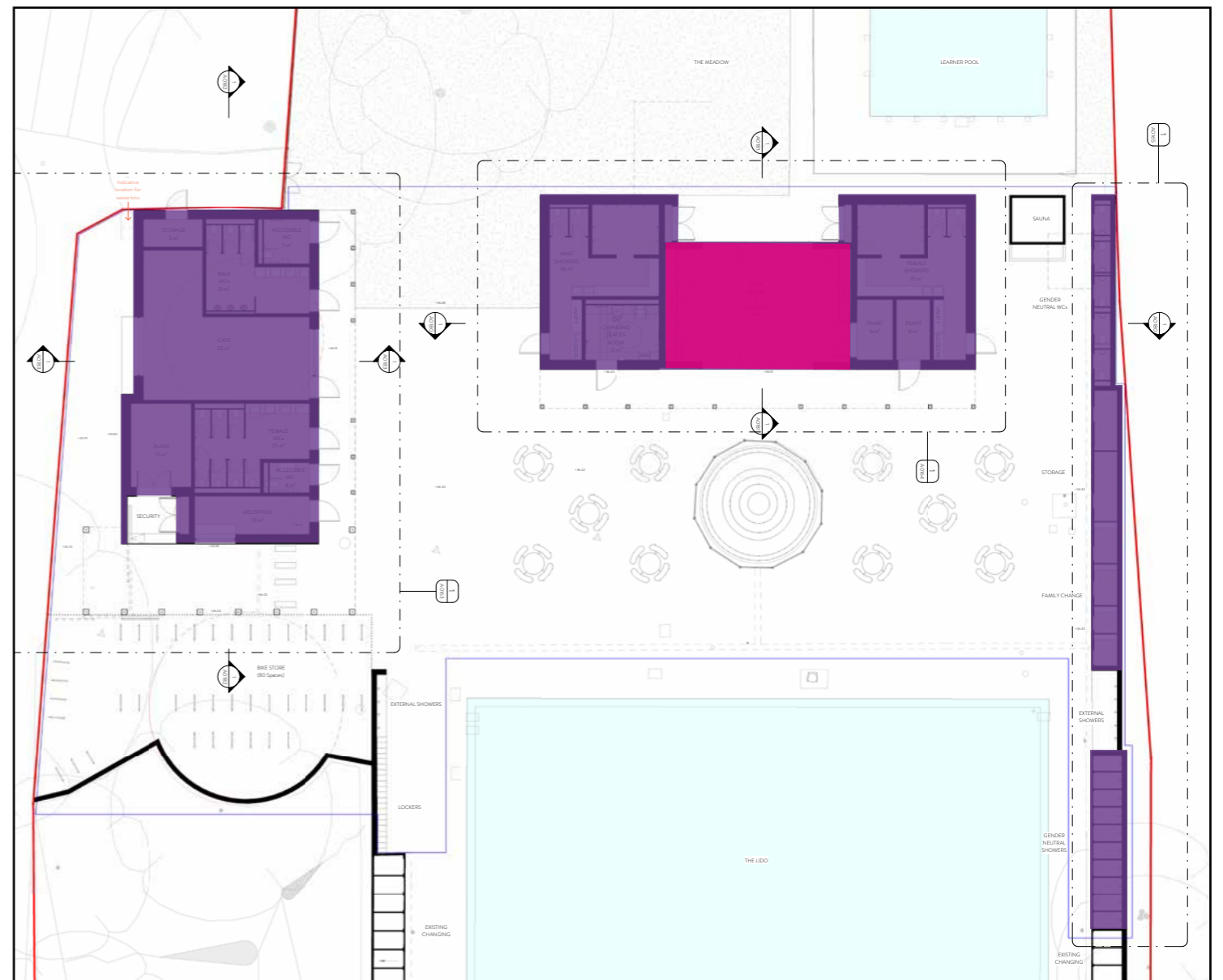
THE PROPOSAL

AREAS - MEASURING GEA

EXISTING FACILITIES



PROPOSED FACILITIES



- = GEA
- = Refurbishment

THE PROPOSAL

FACILITIES

The adjacent table shows the proposed facilities vs. the existing.

SUMMARY		
EXISTING	PROVISION	PROPOSED
18 (FEMALE, MALE & ACCESSIBLE PROVISION)	SHOWERS	27 (FEMALE, MALE & GENDER NEUTRAL PROVISION)
9 (FEMALE, MALE & ACCESSIBLE PROVISION)	WCs	21 (FEMALE, MALE, GENDER NEUTRAL & ACCESSIBLE PROVISION)
1	EXTERNAL SHOWERS	9
80	CYCLE STORAGE SPACES	80
N	GENDER NEUTRAL BABY CHANGE	Y
N	CHANGING PLACES ROOM	Y
N	GENDER NEUTRAL SHOWERS	Y
N	GENDER NEUTRAL WCs	Y
Y	ENTRANCE CONTROL	Y
Y	CAFÉ	Y
Y	RECEPTION	Y
N	SECURITY CONTROL	Y
N	SUMMER SHELTER/WINTER CLUB ROOM	Y

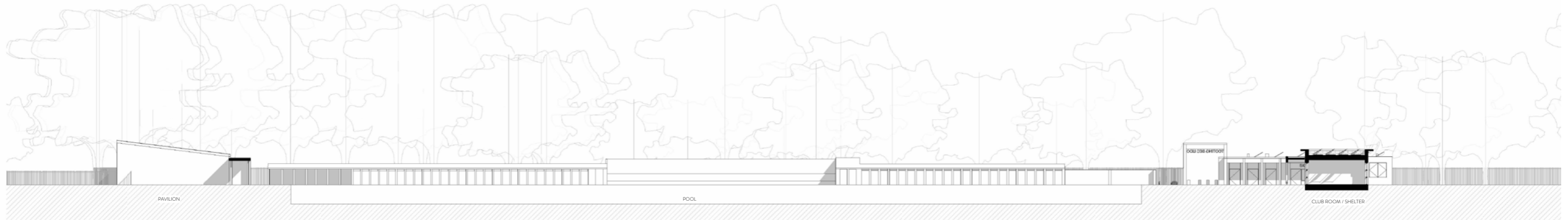
THE PROPOSAL

SITE SECTIONS/ELEVATIONS

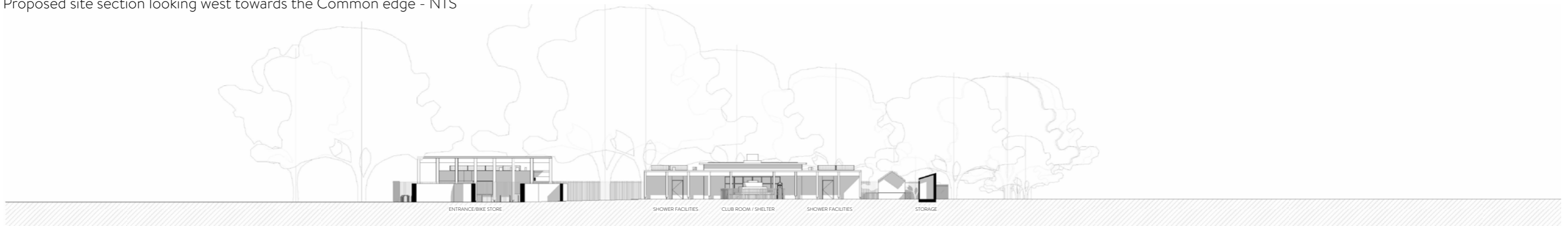
The below site sections/elevations show how the proposal sits within its context.



Proposed site section looking east towards the railway edge - NTS



Proposed site section looking west towards the Common edge - NTS



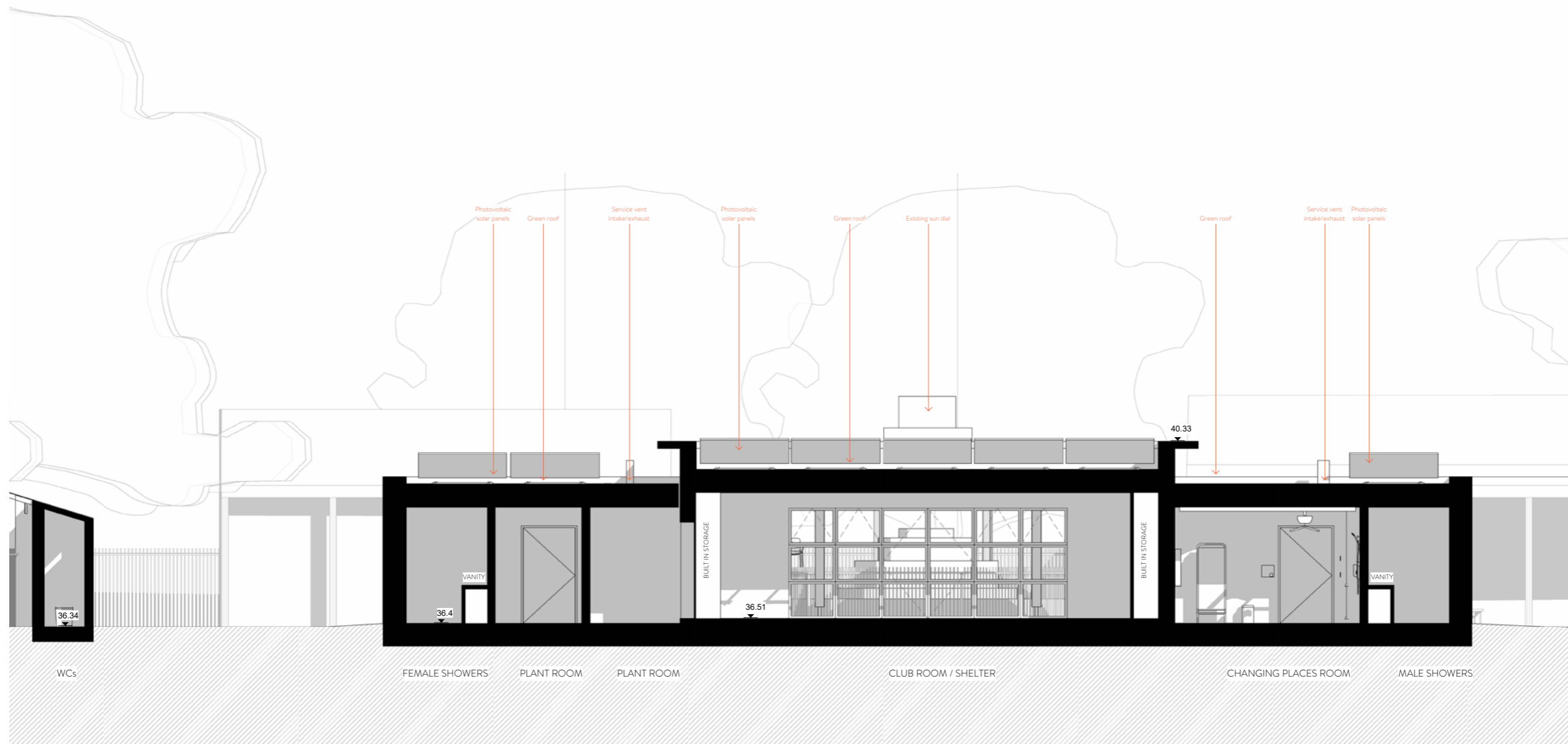
Proposed site section looking north towards the proposals - NTS



THE PROPOSAL

SECTIONS

The below section cuts through the proposed club room/shelter and male/female shower facilities, highlighting the uses within.



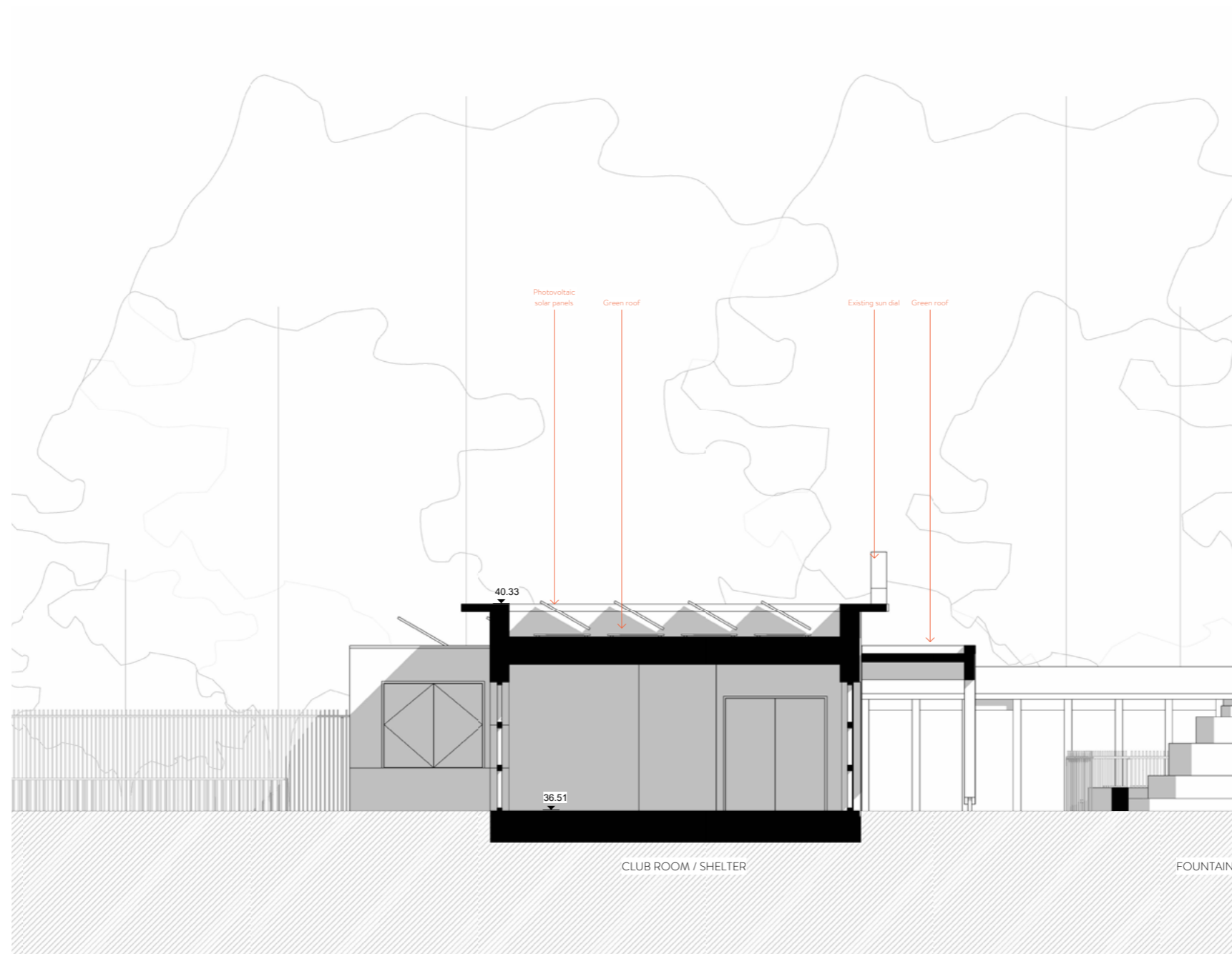
Proposed section - 1:100 @ A3



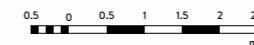
THE PROPOSAL

SECTIONS

The below section cuts through the proposed club room, highlighting the uses within.



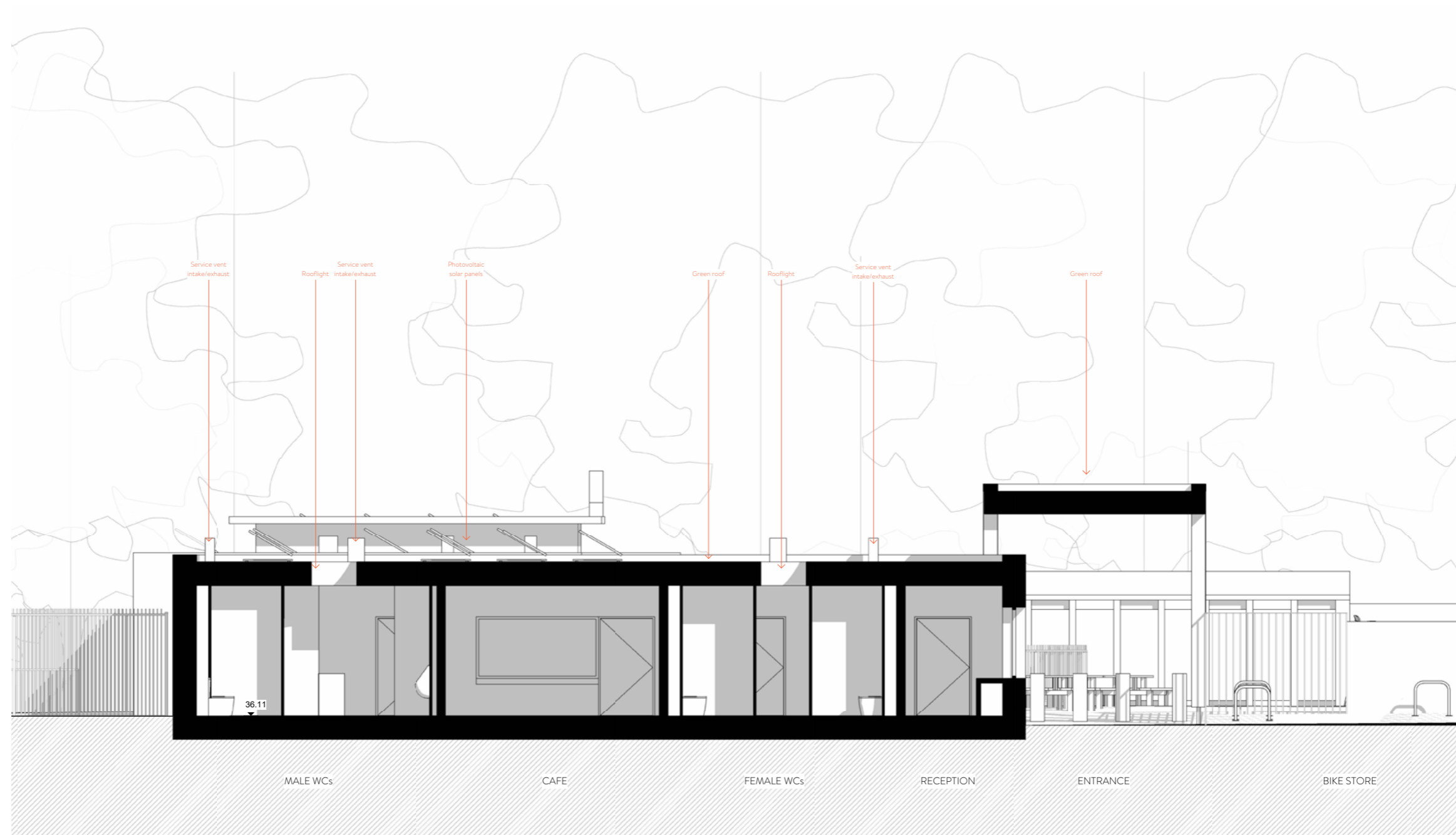
Proposed section - 1:100 @ A3



THE PROPOSAL

SECTIONS

The below section cuts through the entrance building, notably the WC facilities, café and reception.



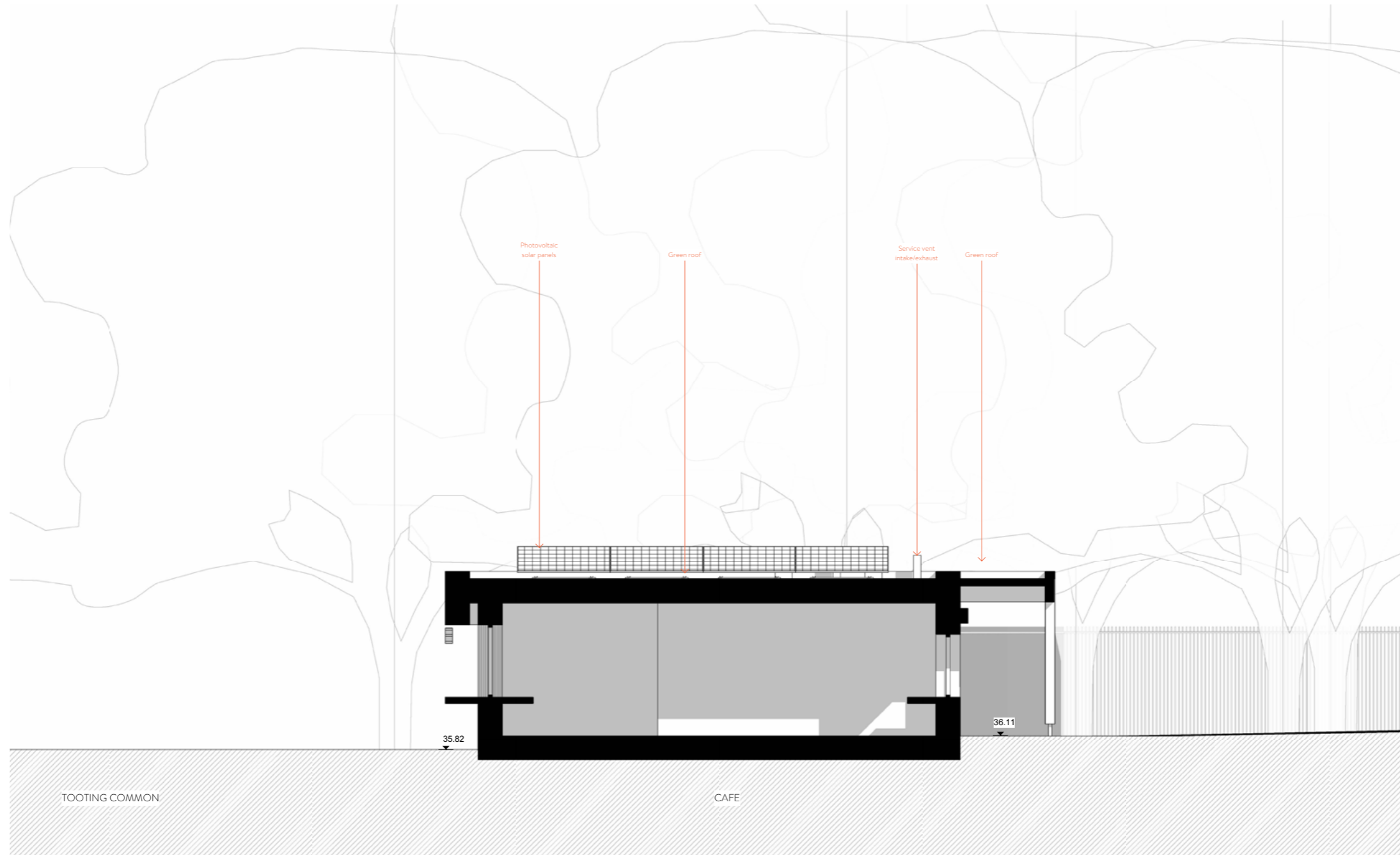
Proposed section - 1:100 @ A3



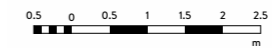
THE PROPOSAL

SECTIONS

The below section cuts through the café, showing both the poolside and Common side serveries.



Proposed section - 1:100 @ A3



THE PROPOSAL

MATERIALITY

Our thoughts regarding materiality began with consideration of the users of the pool. As the majority of the people using the pool will have exposed skin and often sit back on the buildings when sunbathing, we explored the use of tactile materials that are smooth to the touch. The façade facing the Common should be more hardwearing to deter and resist vandalism.



A busy summer day at the Lido - Image courtesy of Gerda Pinciute /Evening Standard



THE PROPOSAL

MATERIALITY

The adjacent material palette shows our thoughts for the materials across the proposal. The Common face of the proposal will be a glazed green brick that responds to the surrounding greenery and woodland of the Common and is also hardwearing and resistant to graffiti. The timber colonnade references the existing vertical columns seen across the site and the verticality of the surrounding woodland. The elevations facing the pool will feature a glazed blue brick plinth, responding to the traditional plinths across the Lido with a smooth material for users to be able to lean against. Above the plinth will be a light coloured render. Meanwhile, the doorways will be colourful and reminiscent of the existing cubicles across the site. Planting will also be prevalent on the roofs and climbing planters at the entrance. Overall, all materials are designed to be sensitive to the context at hand but also resilient to everyday use and its location on the Common.

1. Light coloured render
2. Glazed blue brick plinth
3. Timber colonnade
4. Glazed green brick
5. Planting
6. Colourful doors (green, yellow, blue and red)



THE PROPOSAL

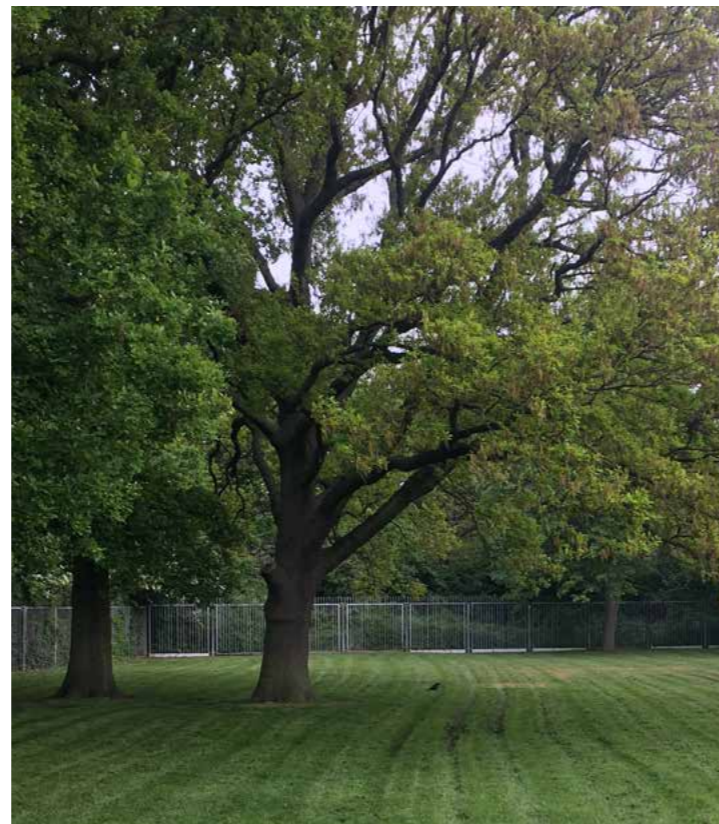
MATERIALITY

The chosen materials also respond sensitively to the context at hand, explored below.



Timber Colonnades

The proposal features a timber colonnade, referencing the colonnade rhythms exhibited across the existing buildings



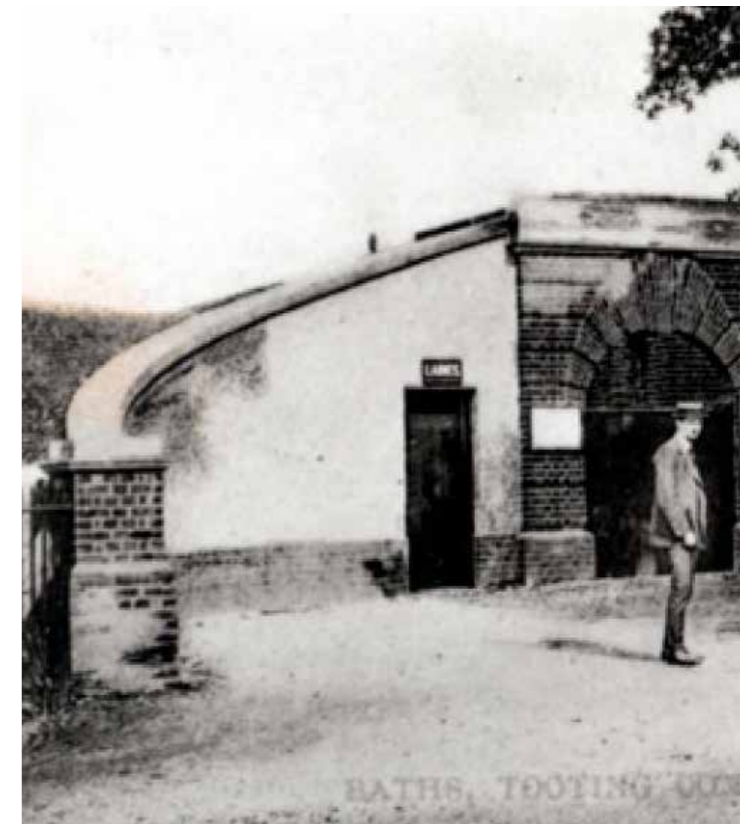
Woodland

The green brick on the Common facing side is used to integrate with the surrounding woodland, whilst the timber colonnade responds to the verticality of the trees



Glazed Bricks

The use of glazed bricks is both for resilience and tactility, as well as responding to the heritage of the site. Indeed, glazed bricks were previously used on the now demolished existing entrance and is also used on the new pavilion building



Brick Plinths

The use of a brick plinth responds to the language of the history of the site, such as the plinth seen on the original entrance building above

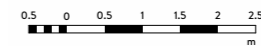
THE PROPOSAL

ELEVATIONS

The below west elevation shows the façade from the Common facing the entrance building. The façade is glazed green brick, utilised for their hardwearing properties and resilience to graffiti. The green is chosen to complement the surrounding woodland. The brickwork itself will vary in bonding orientation. The timber colonnade is taller at the entrance to mark the gateway to the site, with integrated signage. At night, a sliding gate secures the Lido. Also shown on this elevation is the café kiosk opening to the Common, with a green frame and timber shelf to match the colonnade. At night/when closed, a shutter will secure this.



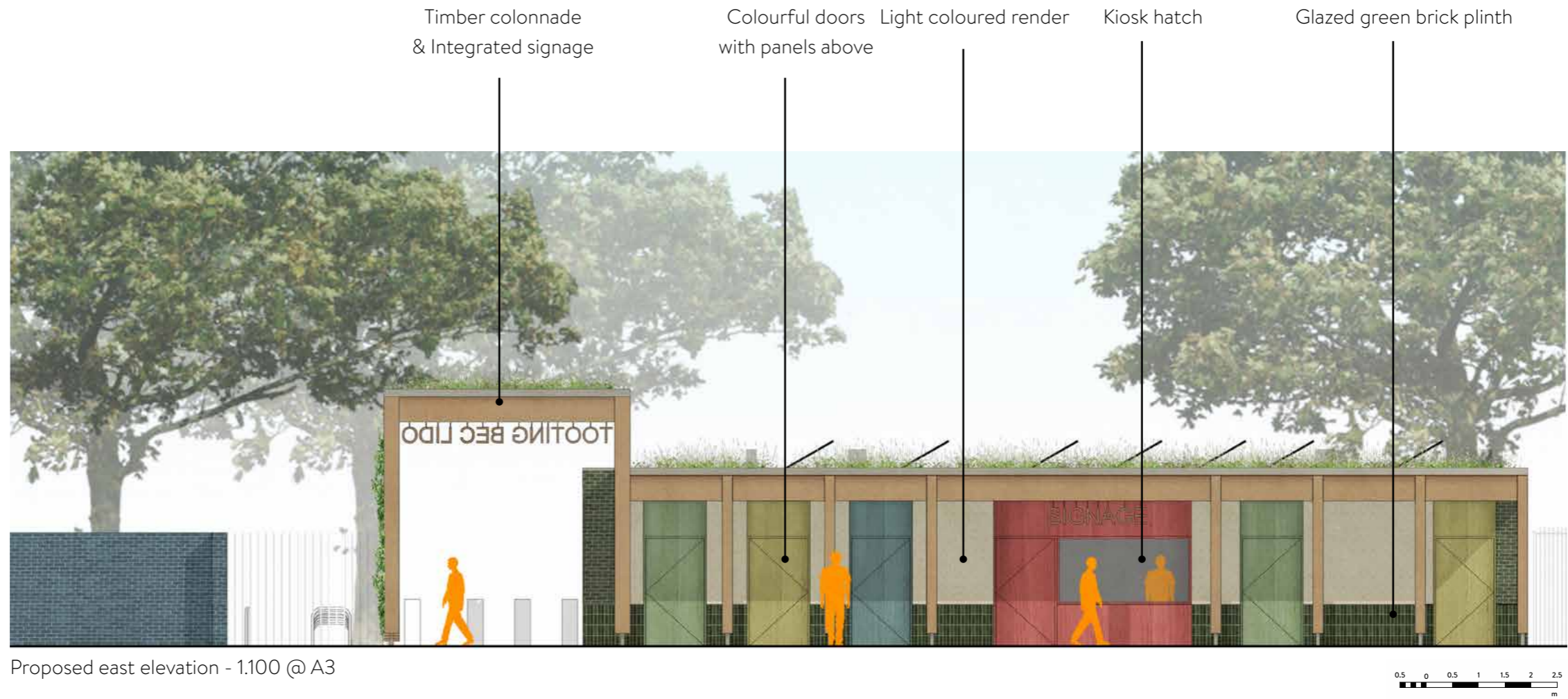
Proposed west elevation - 1:100 @ A3



THE PROPOSAL

ELEVATIONS

The below elevation shows the east façade from the poolside. The elevation shows the timber colonnade which provides shelter and ties with the frequency of colonnades used elsewhere across the side. The doors on this elevation are coloured red, yellow, green and blue to match the existing cubicle doors on site with panels above. The café has a kiosk to this side which is shuttered off when closed/at night. The elevation also highlights the glazed green plinth with light coloured render above.



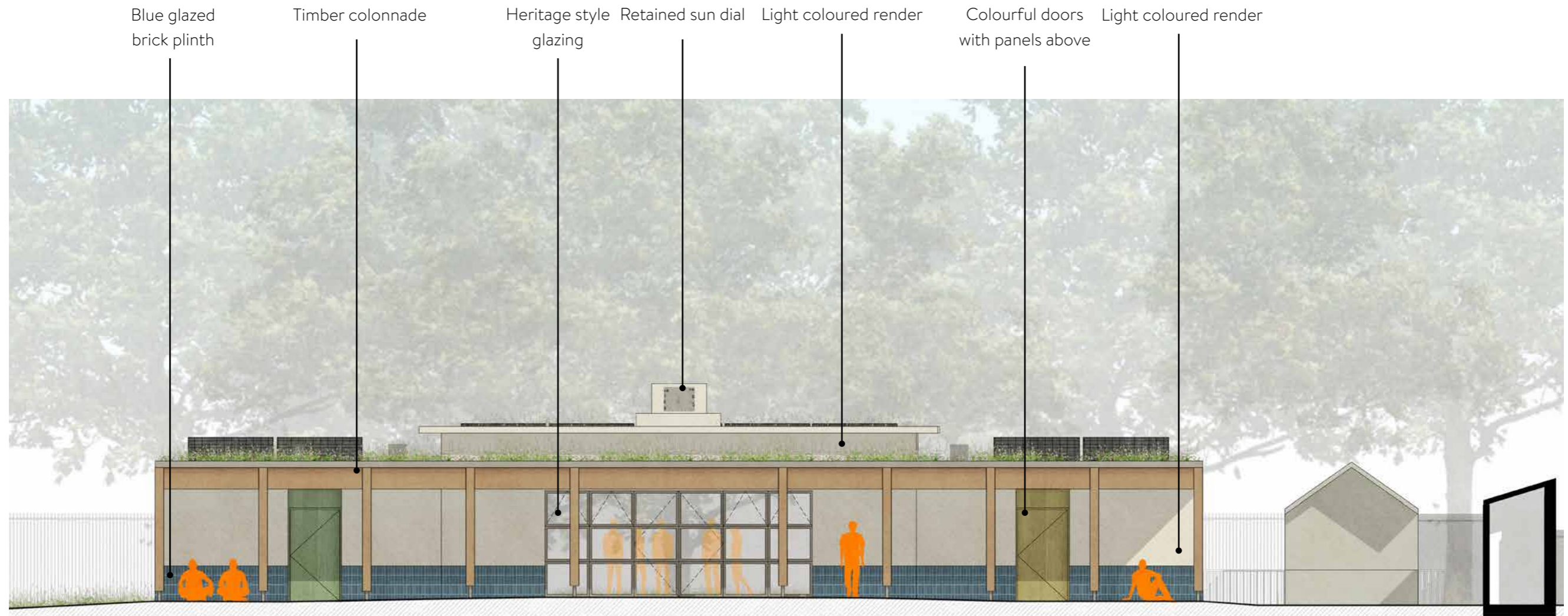
THE PROPOSAL

ELEVATIONS

The below elevation shows the south façade of the proposal. The elevation shows the existing café building (turned into a club room/shelter) which is refurbished. Externally, it is re-rendered with light coloured render. The roof is to become a green roof with PVs. The iconic sundial will be retained. The existing shutter and doors on the façade will be removed and replaced with a heritage style glazed system on both the south and north elevations, responding to the original design of the café. The two shoulder buildings sit either side to create symmetry, with the timber colonnade tying the design together throughout. For the shoulder blocks, the elevation shows the glazed blue plinth with light coloured render above. Once more, the doors are colourful with panels above, responding to the colours of the surrounding iconic cubicles.



Colour and former openings on the refurbished café building to be reinstated



Proposed south elevation - 1:100 @ A3



THE PROPOSAL

ELEVATIONS

The below elevation shows continuation of the colourful doors on the eastern edge of the pool. The colours follow the pattern of green, yellow, blue and red. The internal provision is for family changing, storage, gender neutral showers and gender neutral WCs. Where a real door isn't needed, a false panel is applied to the façade to continue the colonnade rhythm.

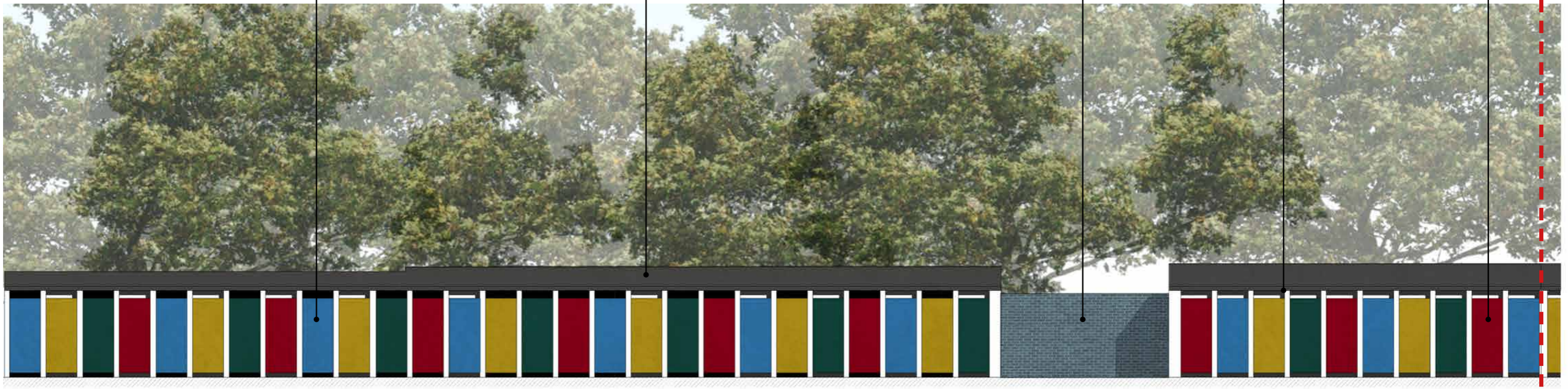
Fixed panel where the plan does not allow for a door

Slate roof

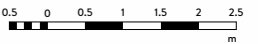
Tiled external showers

White timber colonnade

Coloured doors



Proposed west elevation - 1.100 @ A3



THE PROPOSAL

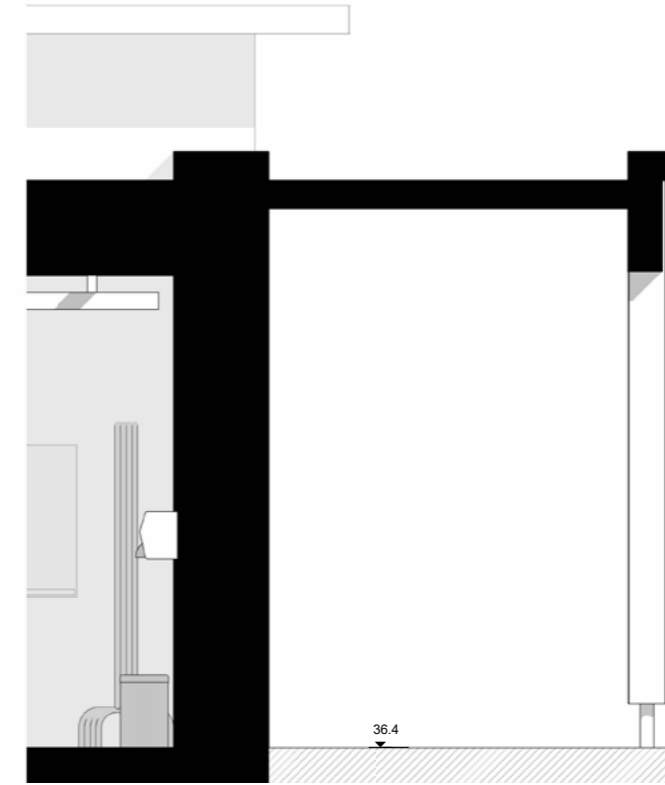
BAY STUDIES

The adjacent bay study captures the refurbished café now club room/shelter, colonnade and male shower block. The café is re-rendered in a neutral light colour, reminiscent of the former colour of the café. The shower block features the blue glazed brick plinth, reminiscent of the brick plinth of the original entrance, with a light coloured render above.

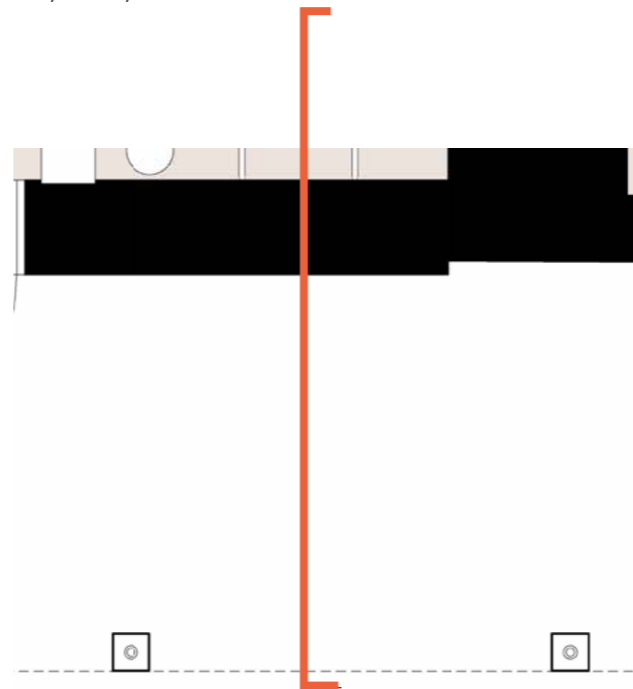
- 1. Timber colonnade
- 2. Blue glazed brick plinth
- 3. Light coloured render
- 4. Aluminium parapet coping
- 5. Green roof
- 6. Light coloured render



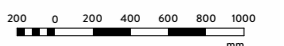
Bay study - NTS



Section - NTS



Plan - NTS



THE PROPOSAL

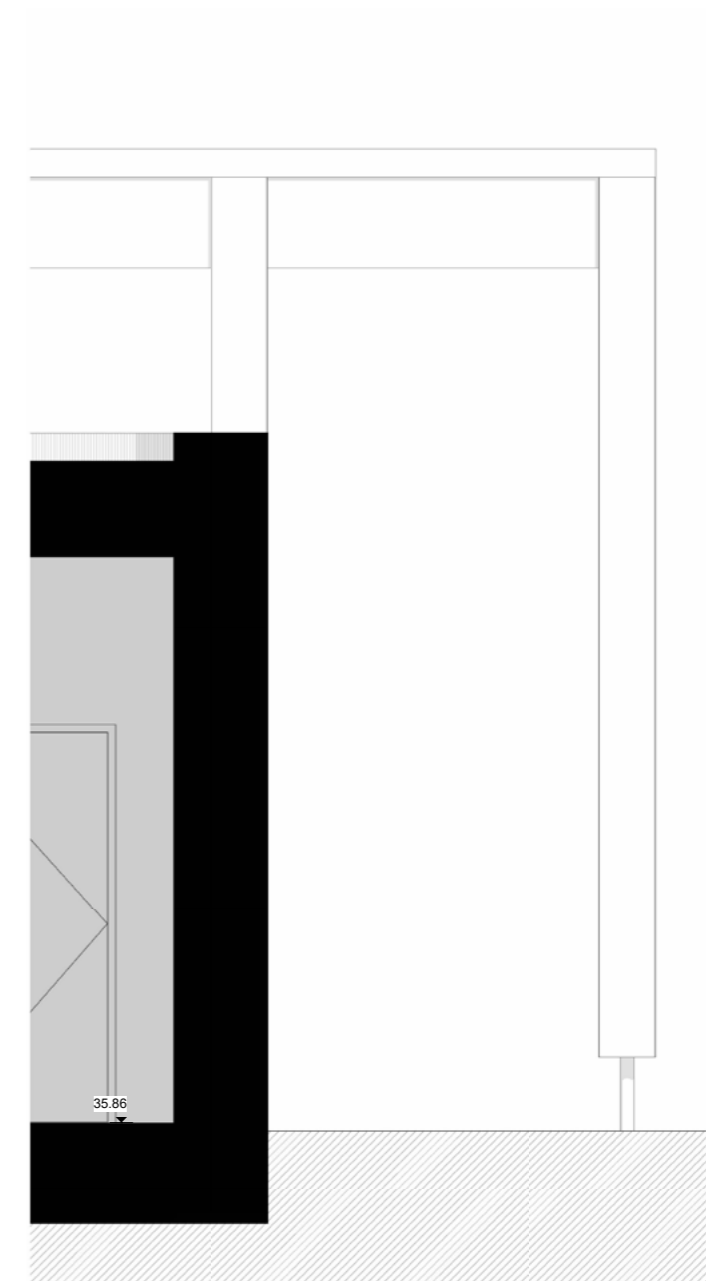
BAY STUDIES

The adjacent bay study captures the entrance to the Lido, notably the glazed green brickwork and timber colonnade.

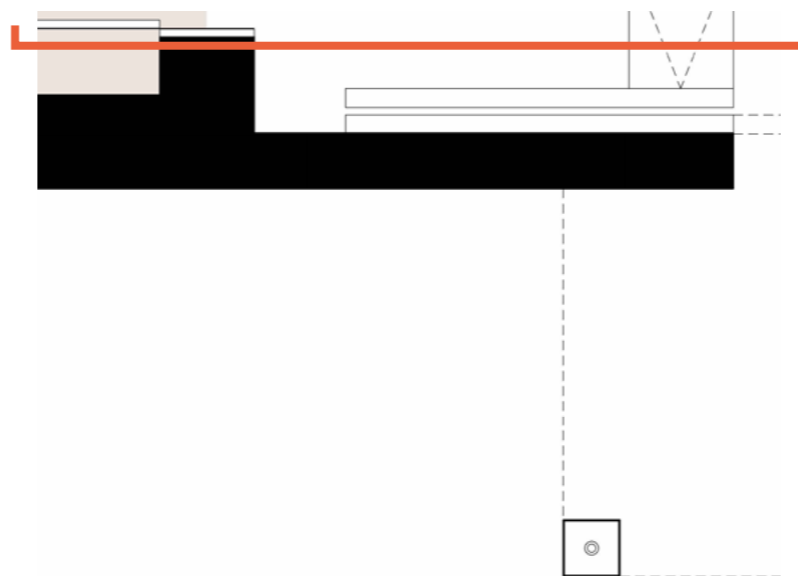
- 1. Timber colonnade
- 2. Integrated signage
- 3. Aluminium parapet coping
- 4. Green glazed brick (varied bonding)
- 5. Green roof



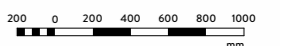
Bay study - NTS



Section - NTS



Plan - NTS



THE PROPOSAL

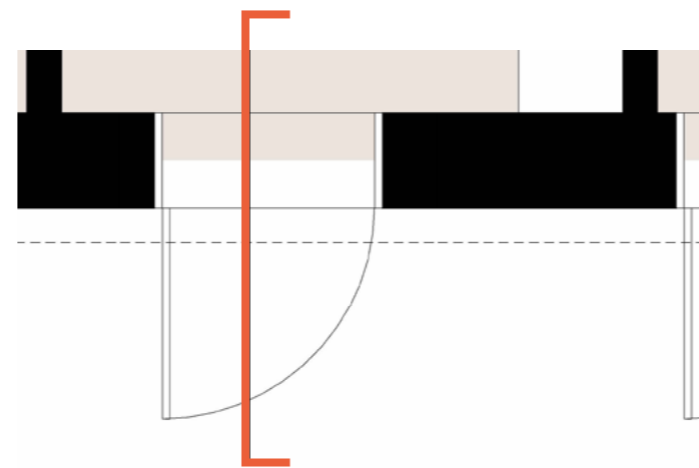
BAY STUDIES

The adjacent bay study captures the pool facing side of the entrance building, notably the colourful doors, the timber colonnade and the glazed brick plinth, which many people will set against during the summer months.

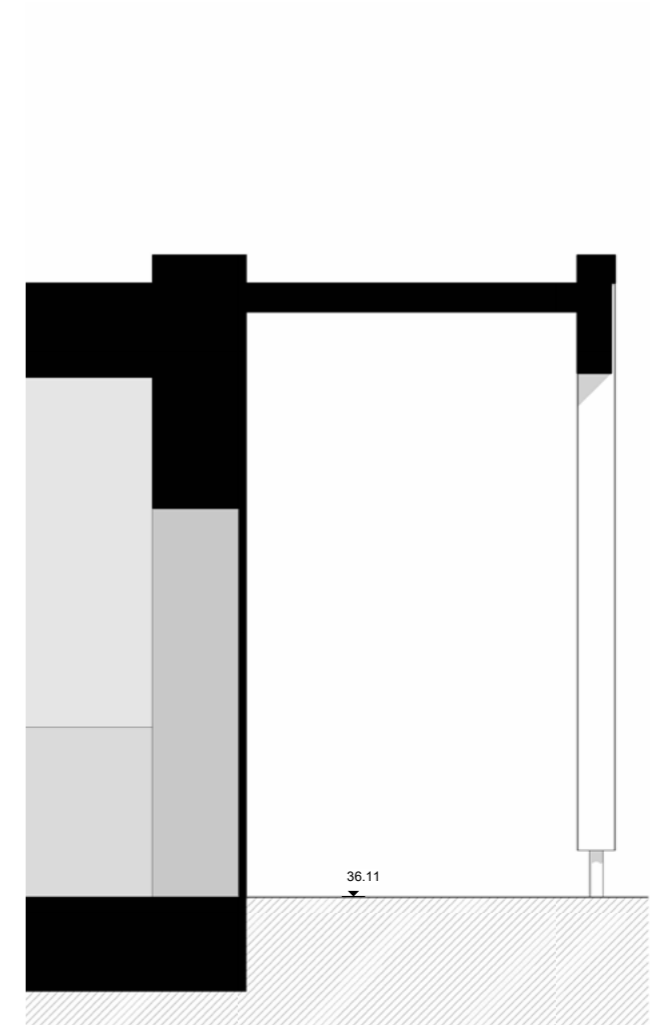
- 1. Timber colonnade
- 2. Aluminium parapet coping
- 3. Light coloured render
- 4. Green roof
- 5. Green glazed brick plinth
- 6. Colourful single door with panel above



Bay study - NTS



Plan - NTS



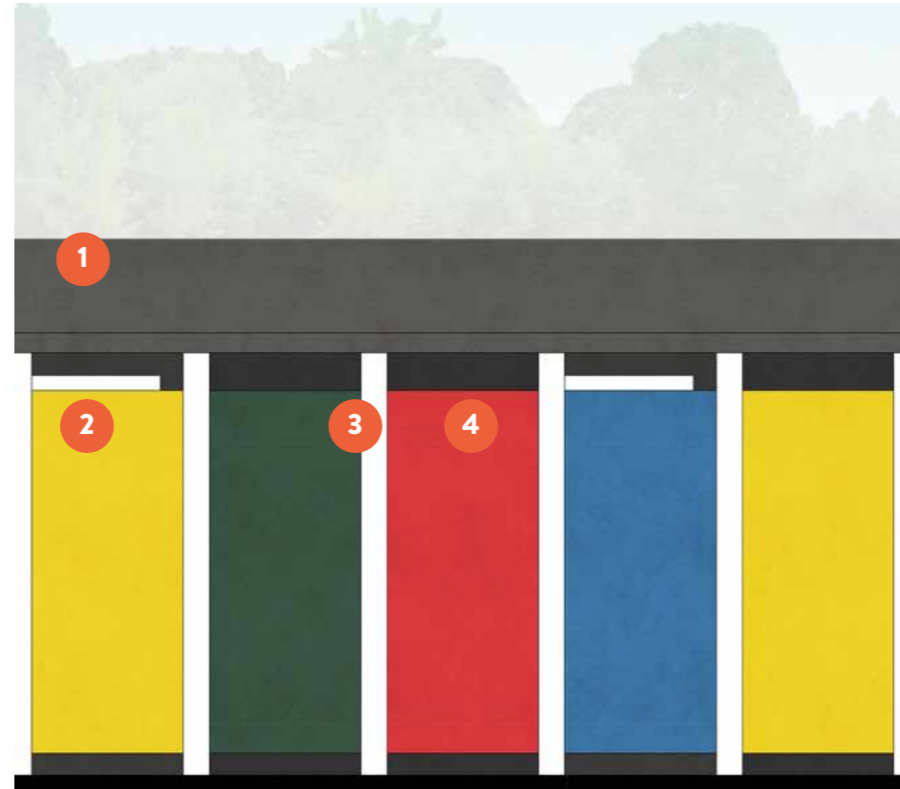
Section - NTS

THE PROPOSAL

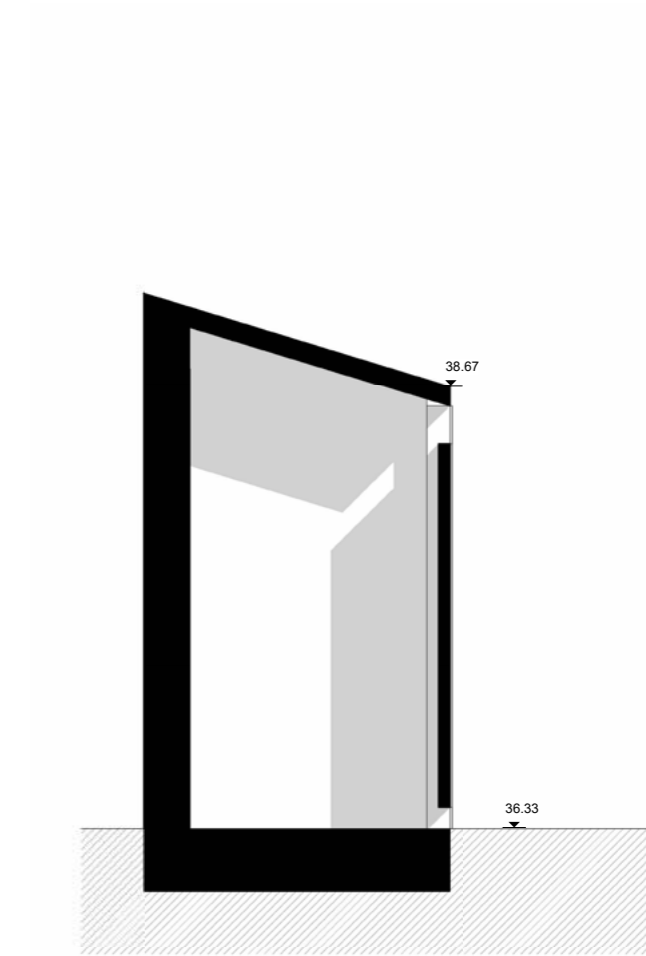
BAY STUDIES

The adjacent bay study captures the proposed continuation of cubicles along the eastern pool edge, housing storage, family changing and gender neutral showers and WCs. To complete the language of the cubicles, some colourful panels are positioned between doors to give the impression of this continued language.

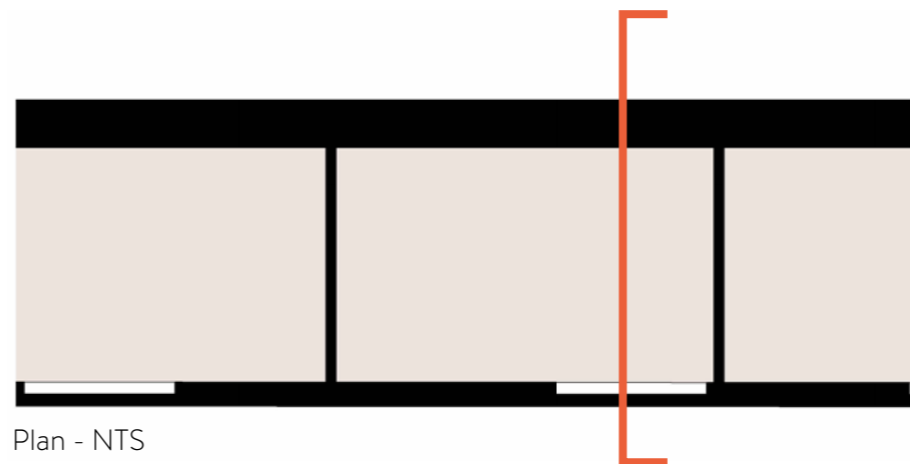
1. Slate tiled roof
2. Colourful timber door to match existing
3. White timber colonnade to match existing
4. Colourful panel



Bay study - NTS



Section - NTS

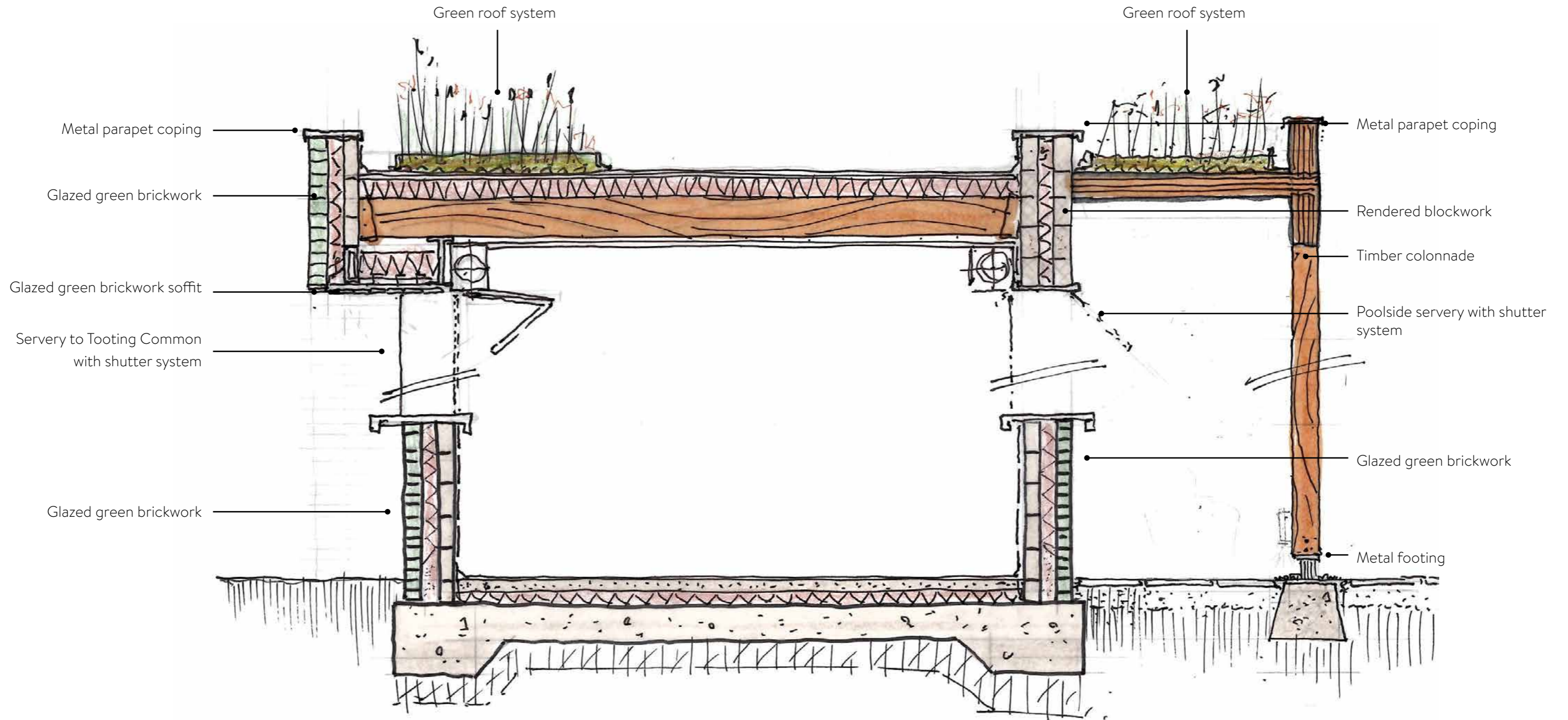


Plan - NTS

THE PROPOSAL

SKETCH DETAIL SECTIONS

The below sketch detail section shows the suggested material build up of the proposed entrance building, cutting through the café and serveries.

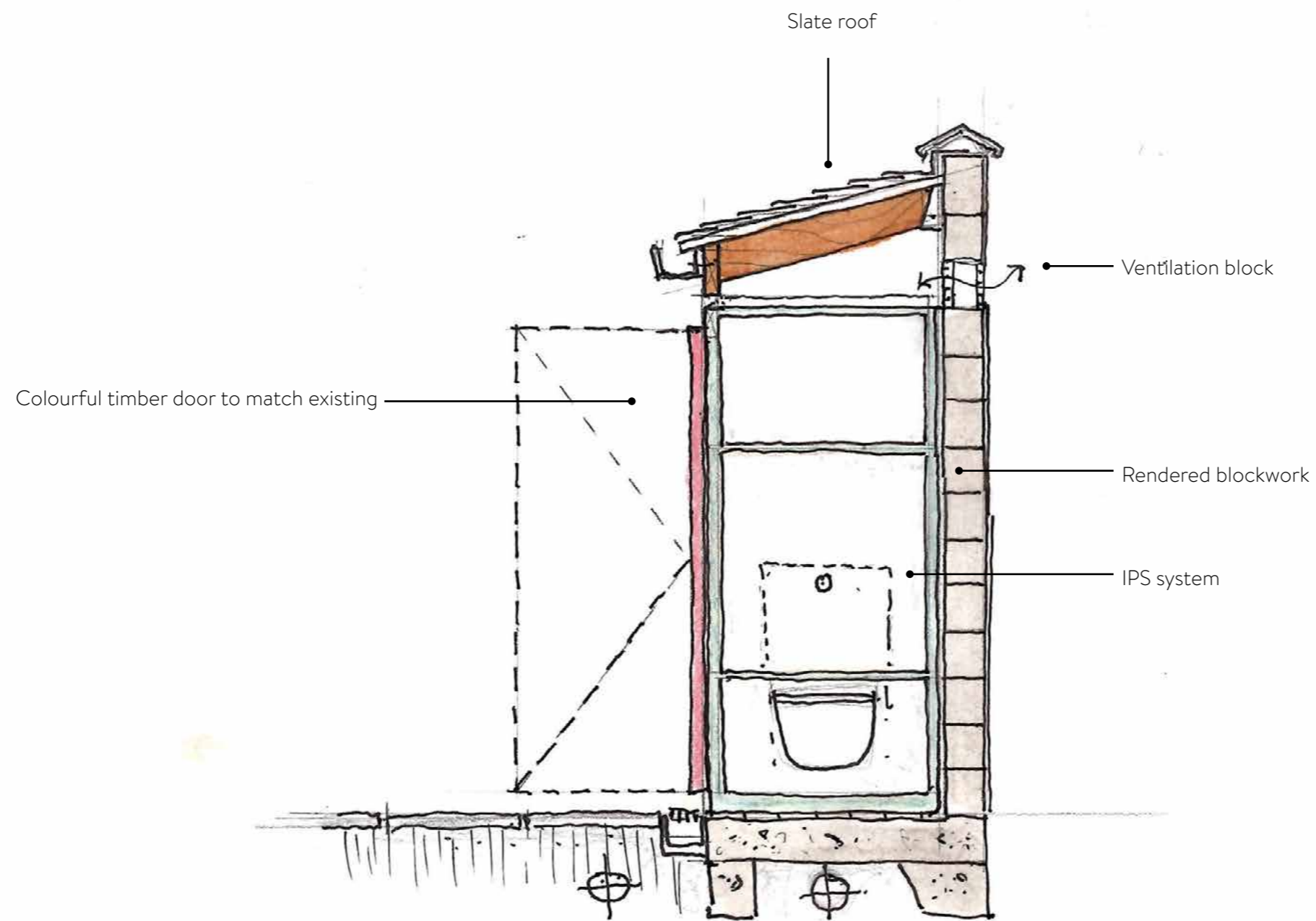


Sketch section - NTS

THE PROPOSAL

SKETCH DETAIL SECTIONS

The below sketch detail section shows the suggested material build-up of the proposed facilities around the pool edge.

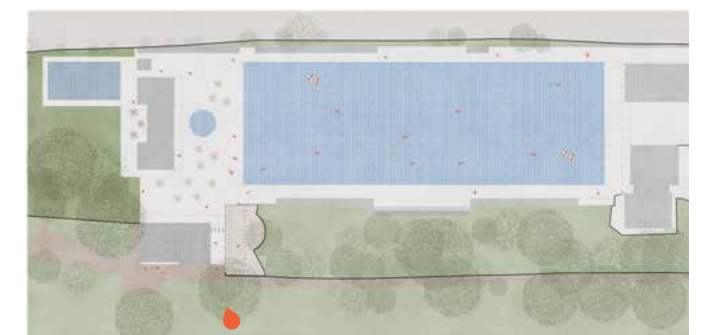


Sketch section - NTS

THE PROPOSAL

VISUALS

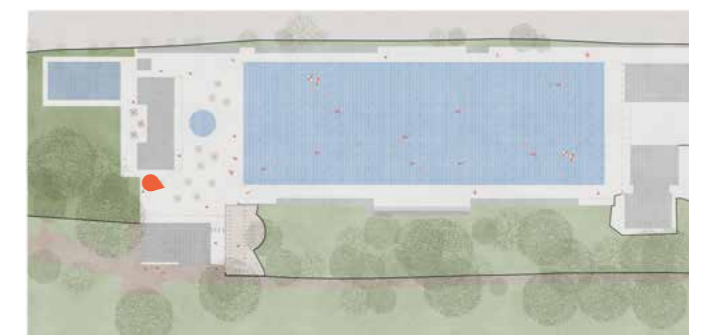
The below visualisation shows an artist impression of the entrance of the proposal, showcasing the green glazed brick, kiosk and colonnade.



THE PROPOSAL

VISUALS

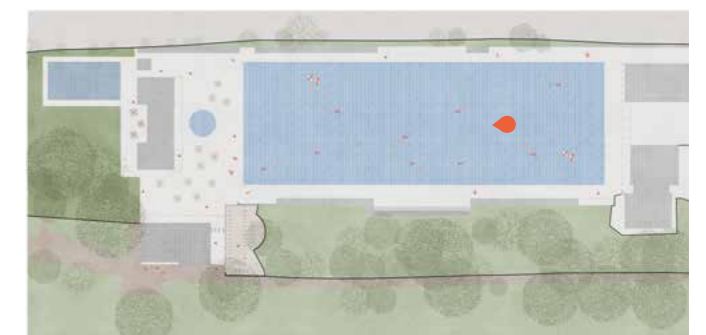
The below visualisation shows an artist impression looking to the poolside servery of the café, capturing the continuation of the colonnade language creating an architectural rhythm across the site.



THE PROPOSAL

VISUALS

The below visualisation shows an artist impression of the entrance of the shelter/refurbished café from the pool itself, celebrating the colonnades and blue plinths.



THE PROPOSAL

IMPACT ON METROPOLITAN LAND

The design team recognise that the site is situated on Metropolitan Open Land and thus a number of policies apply protecting this land. Policy P L 4 of the Wandsworth Local Plan Core Strategy states ‘the Council will protect and improve public and private open space and Green Infrastructure in the Borough, including Metropolitan Open Land, such as the major commons, parks, allotments, trees and playing fields’ whilst ‘the biodiversity value of the Borough will be protected and enhanced’. It is therefore understood that development should be sensitive to the context at hand.

The Pre-Application advice states the following “When considering any planning application, local planning authorities should ensure that substantial weight is given to any harm to the Green Belt. ‘Very special circumstances’ will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations...Paras 149 and 150 of the NPPF set out exceptions to inappropriate development and of relevance to the current application are paras 149 b) and g): b) the provision of appropriate facilities...for outdoor sport, outdoor recreation, cemeteries and burial grounds and allotments; as long as the facilities preserve the openness of the Green Belt and do not conflict with the purposes of including land within it; g) limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use...which would: - not have a greater impact on the openness of the Green Belt than the existing development...The proposals relate to a facility which is used for outdoor sport and seek to re-provide buildings that are already on the site associated with this use. Therefore, Officers must assess if these buildings would preserve the openness of the MOL and not have a greater impact on the openness of this than existing...given the existing use Officers do not consider that this would be inappropriate under 149 (b)”.

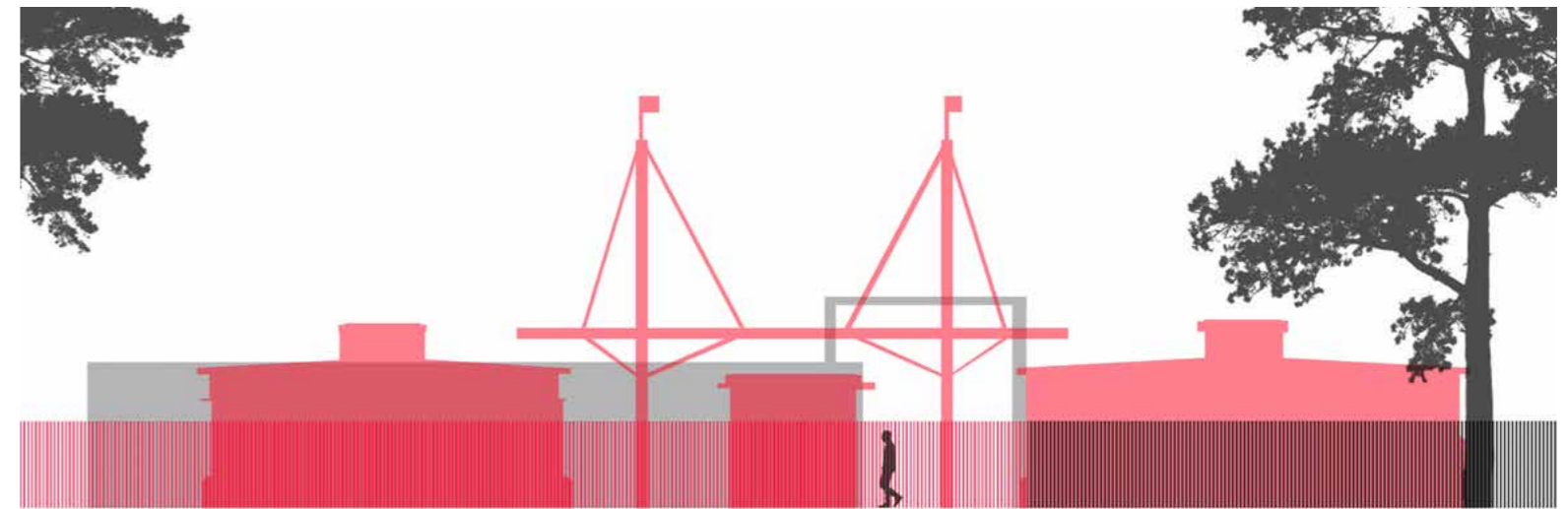
Furthermore, “While the proposals would result in an increase in floor area...‘openness’ is both a spatial and visual concept...Along the western boundary, the new café building and entrance point would be located beyond the existing metal fence boundary that delineates the site boundary and would have a reduced width to the existing structures. While increasing in depth, there would be limited views of the side elevation available from the MOL...views of the existing central building are limited beyond the existing circular buildings and trees and vegetation along the boundary. Whilst its enlargement would be noticeable from some points to the north and west, these views would be limited”.

To support the above, the adjacent plan and elevation shows the proposed plan with the existing facilities overlaid. The height of the proposed building does not increase above the existing, whilst the colonnade is significantly lower than the existing entrance signage. Scalewise, the length of the proposal is actually reduced compared to the existing, minimising impact. Further, removing the metal fence across the entrance and making the building the boundary creates a friendlier approach to the Lido.

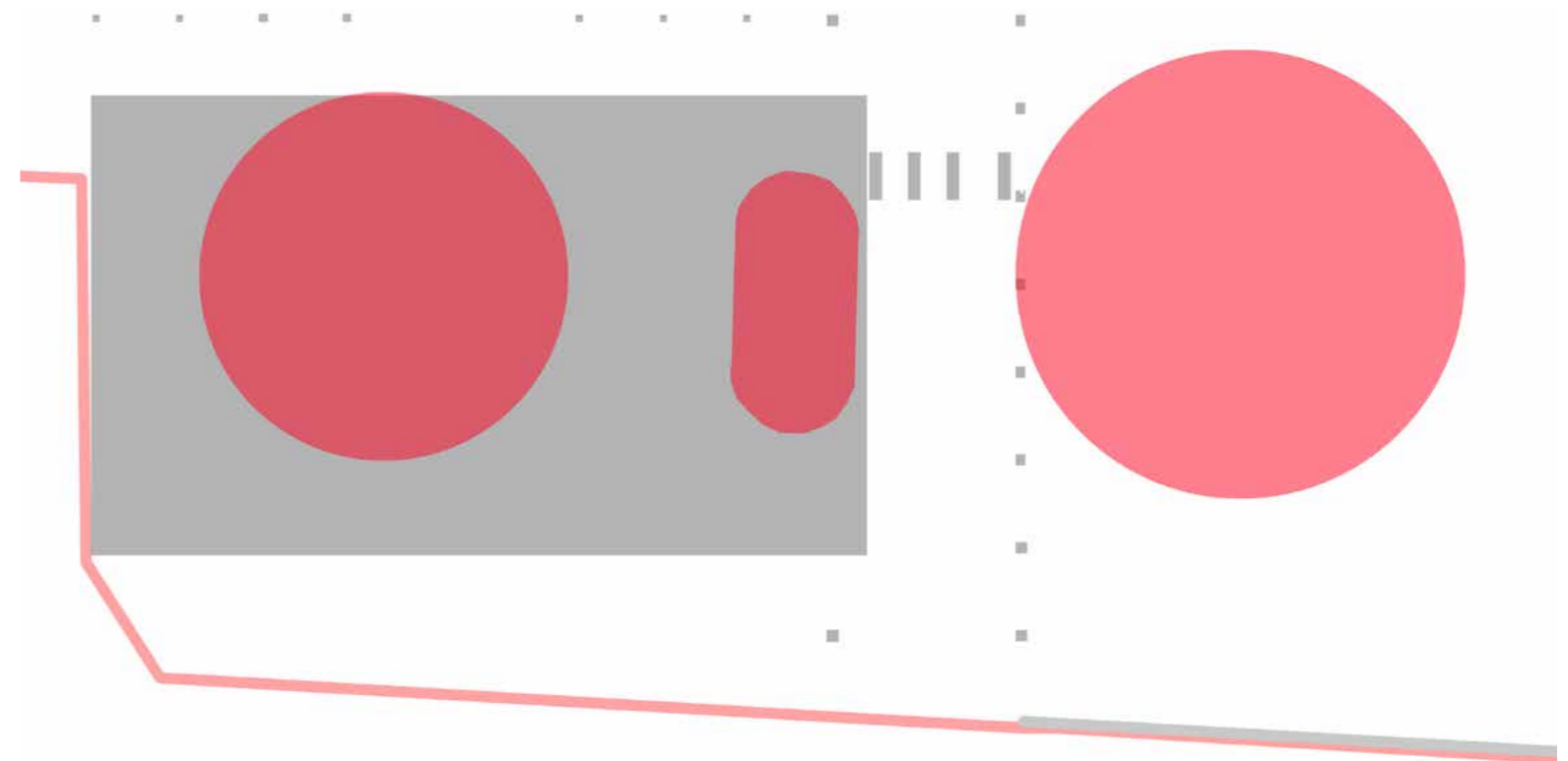
Consequently, we would argue the impact of the proposed building on the Common is less significant than that of the existing, and the proposal will thus have a neutral impact on the surroundings.

Key

- Existing building outline
- Proposed buildings



Proposed elevation (NTS) with existing facilities overlaid



Proposed plan (NTS) with existing facilities overlaid

THE PROPOSAL

IMPACT ON METROPOLITAN LAND

In addition to the previous page, the adjacent diagram shows the entrance to Tooting Bec Lido at present vs the proposal. The metal fencing across the length of the entrance is hostile, whilst the bright blue stands out against the greens of the woodland. The below photograph also shows the entrance to Tooting Bec Lido at present. Our proposed materials of green glazed brick and timber will therefore be more subordinate to the surroundings and respond to the context hand sensitively.

Planning Officers were in agreement with this within the Pre-Application advice *“In addition, proposed colours of green and timber earthy colours with overhead living roofs above that are more fitting within the MOL setting than the existing blue structures... Given the above, the proposed new buildings/ structures may be considered to have a neutral impact on the openness of the MOL when assessed against existing however the materiality and colours will play an important role in helping to achieve this. Provided this is achieved, the proposals would meet para 149 b) and g) of the NPPF and therefore it is likely that ‘very special circumstances’ have been met in accordance with para 148.”* Increasingly, *“There would be no harm identified to the setting, character or appearance of any element of this locally listed site or nearby Garrads Road or Streatham Park Conservation Areas”*.

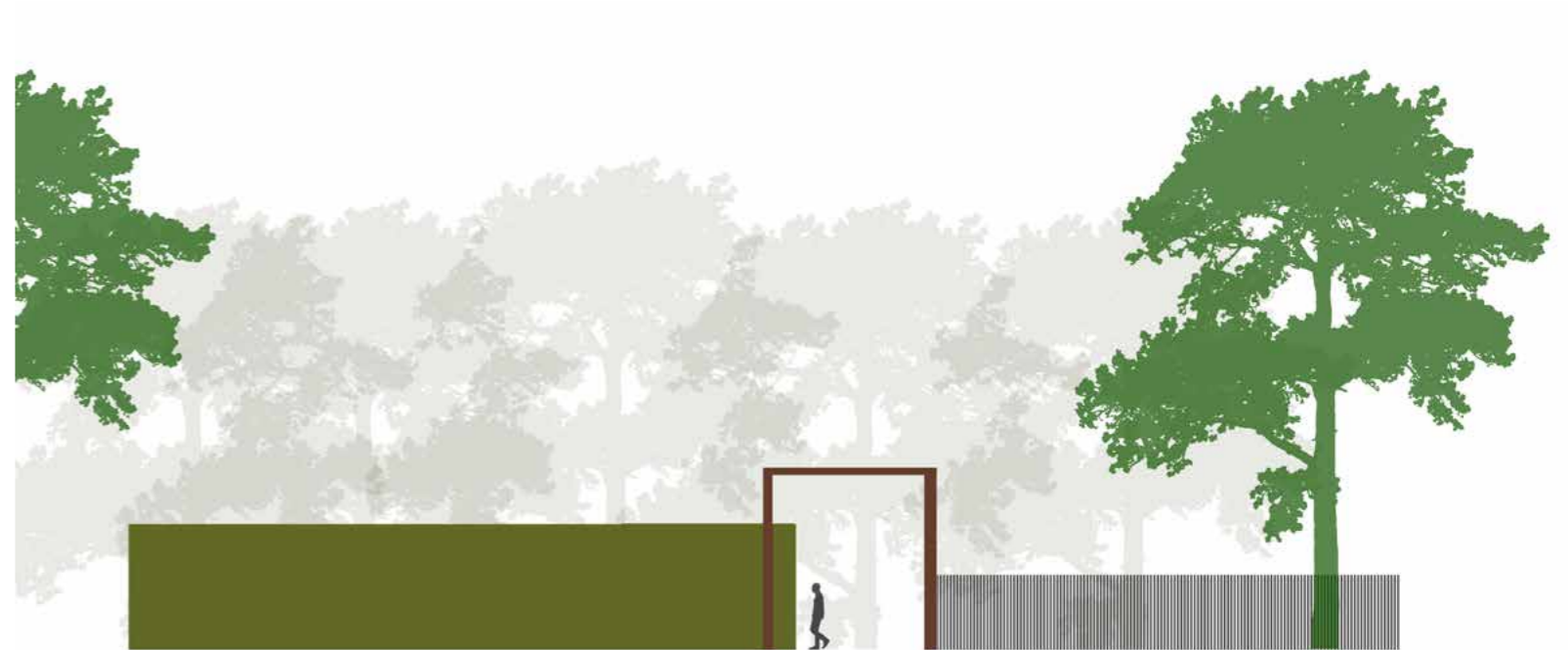
Consequently, we would argue the impact of the proposed building on the Common is less significant than that of the existing, and the proposal will thus have a neutral impact on the surroundings.



View from the Common -
Current entrance showing bright colours and hostile fencing



Existing block colour elevation



Proposed block colour elevation

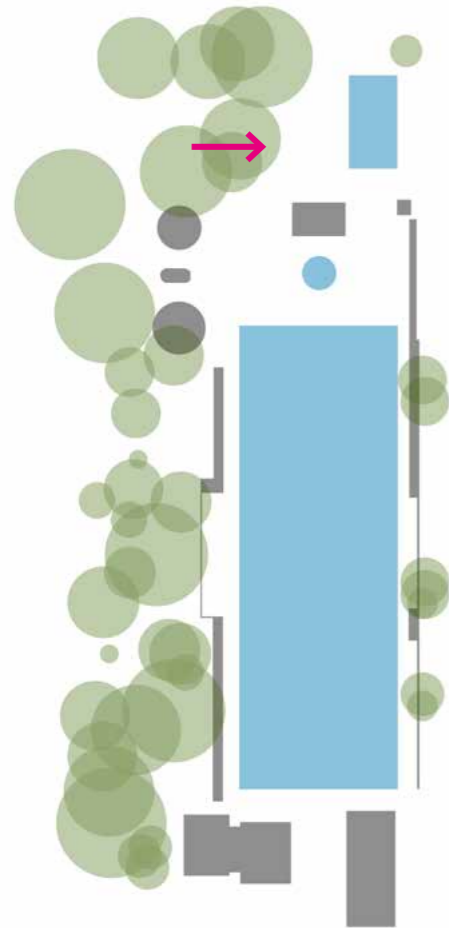
THE PROPOSAL

PHASING

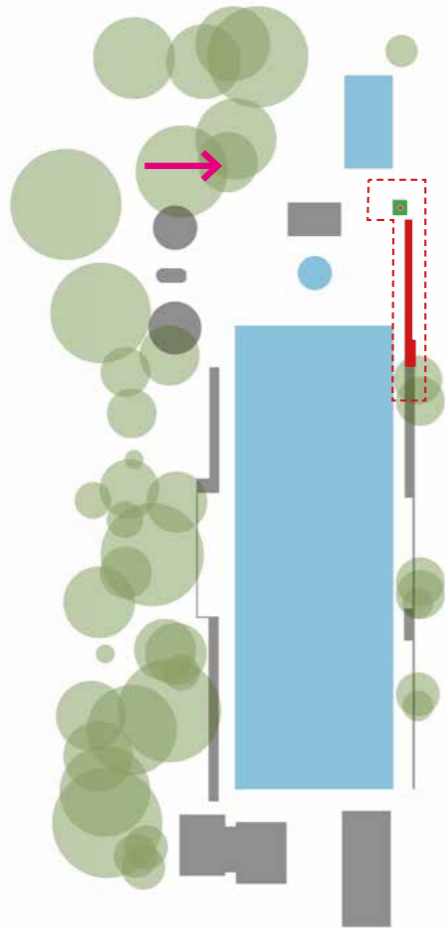
There is the possibility to phase the design to enable the pool to remain open during construction, allowing swimmers to enjoy their much loved Lido with minimal disruption.

Key

- Existing trees
- Existing buildings
- Proposed buildings
- Construction hoarding
- Demolition
- Relocation

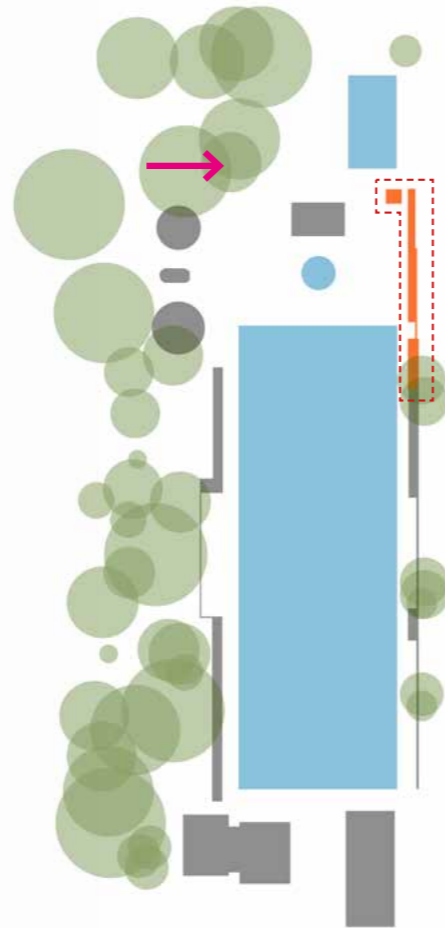


The existing Lido



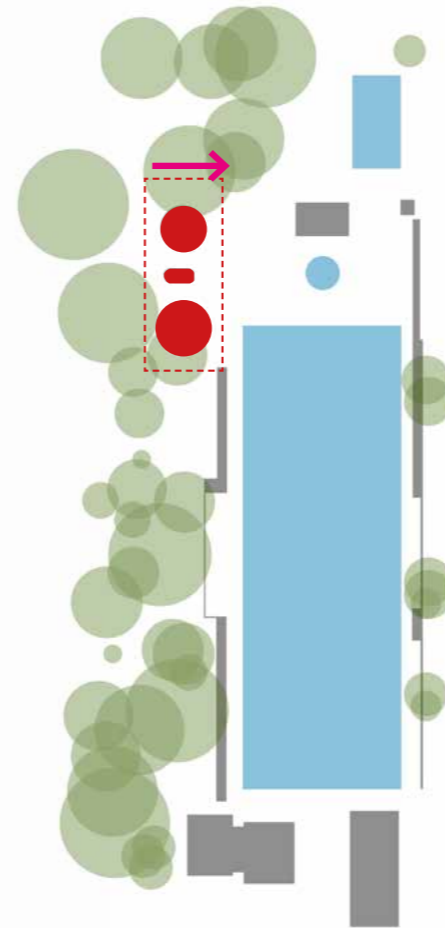
PHASE 1

Works to the railway edge of the pool – part of the existing facilities around the edge of the pool are demolished and the sauna is relocated



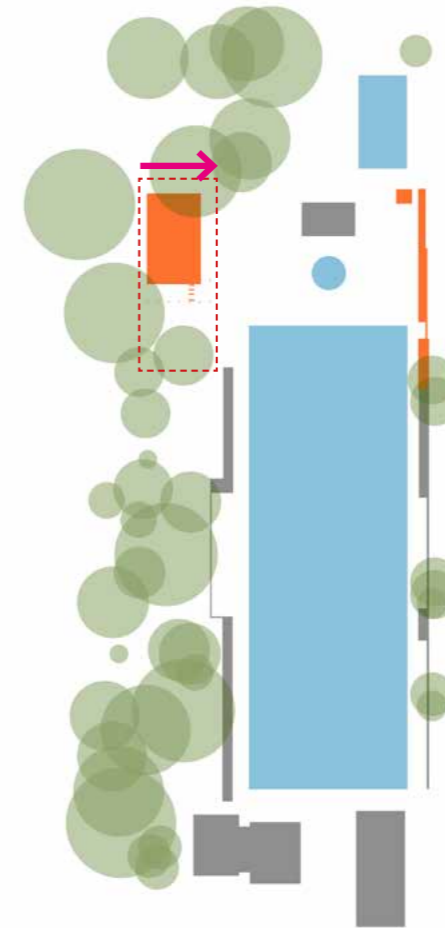
PHASE 1

Works to the railway edge of the pool – new facilities at the edge of the pool are built - users can still use the entrance, changing and WC facilities, as well as the café, during this time



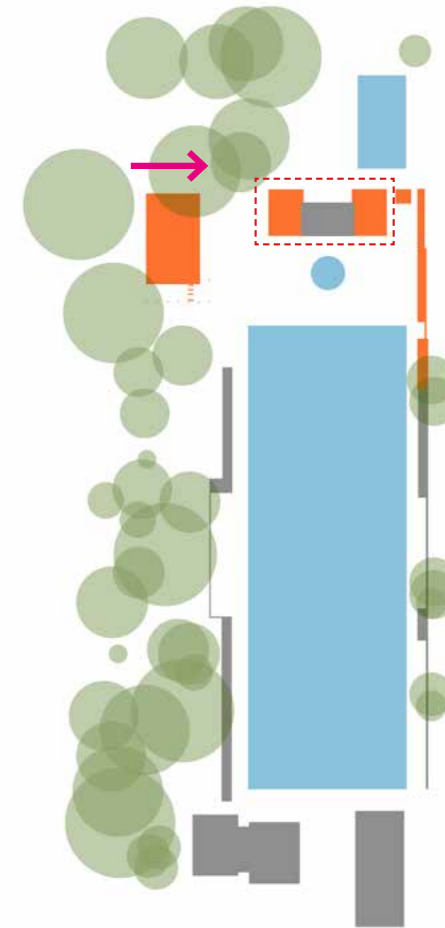
PHASE 2

Now there are WCs, showers and family changing around the pool edge, the existing changing rooms can be demolished



PHASE 2

Now the existing buildings have been demolished, the new entrance building can be constructed. During this time the deep end entrance can be utilised



PHASE 3

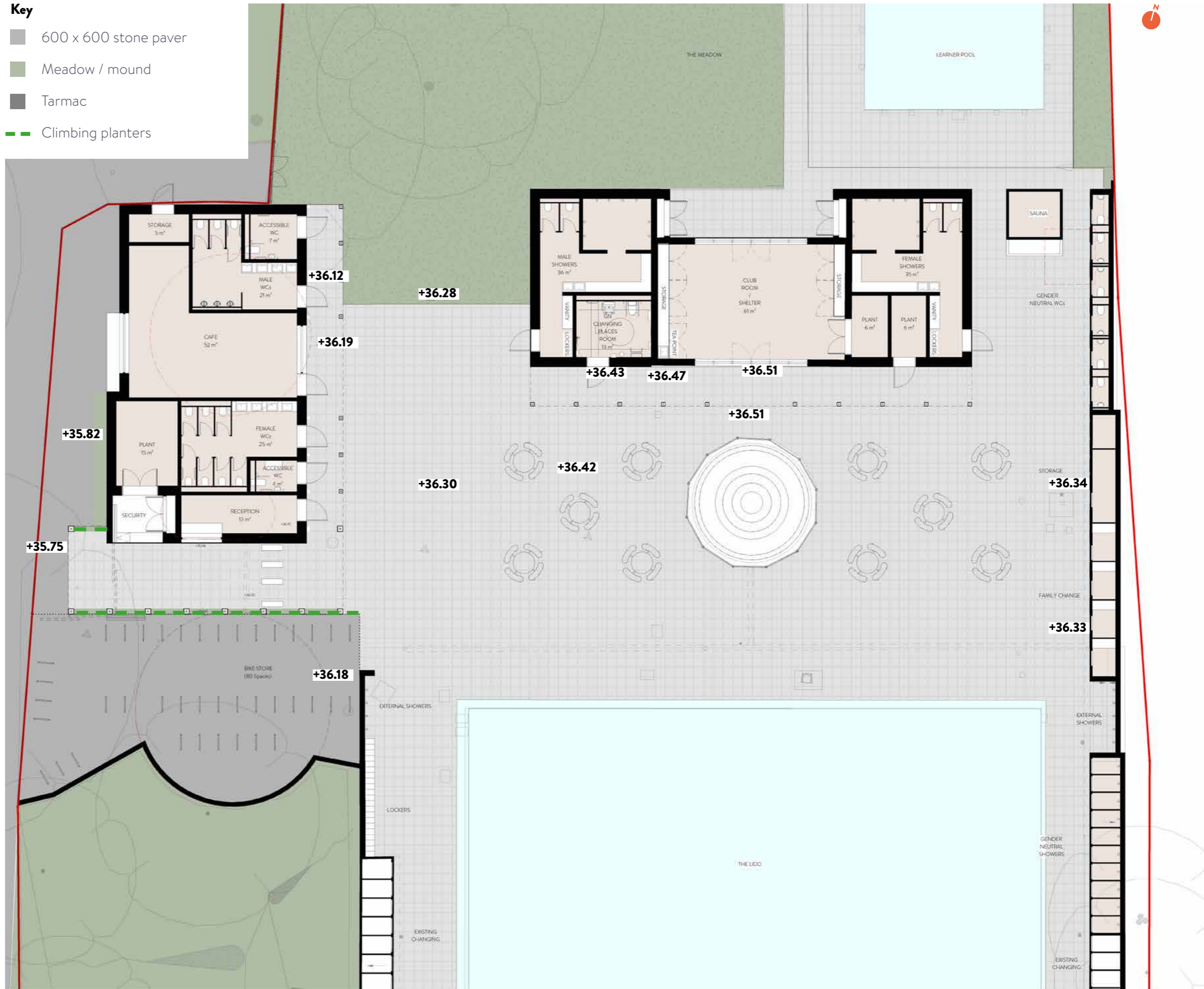
Now the WC block and new café have been built, the new shower and refurbishment of the café building can take place. Following this, the works are complete

THE PROPOSAL

LANDSCAPE DESIGN

At ground floor level, 600x600mm stone pavers with 200mm wide edging to the pool are proposed, matching the existing flooring across the site. The meadow boundary will be amended to accommodate the proposed elements of the design. The proposal will seek to utilise the levels and topography of the site to allow level access into the buildings. Existing picnic benches will be retained but repositioned. Climbing planters are proposed along the boundary of the bikestore to create privacy whilst encouraging biodiversity.

- Key**
- 600 x 600 stone paver
 - Meadow / mound
 - Tarmac
 - Climbing planters



Climbing planters



Existing meadow - boundary to be revised



Existing picnic benches to be retained

Proposed ground floor plan - Indicative landscape strategy - 1:200 @ A3

THE PROPOSAL

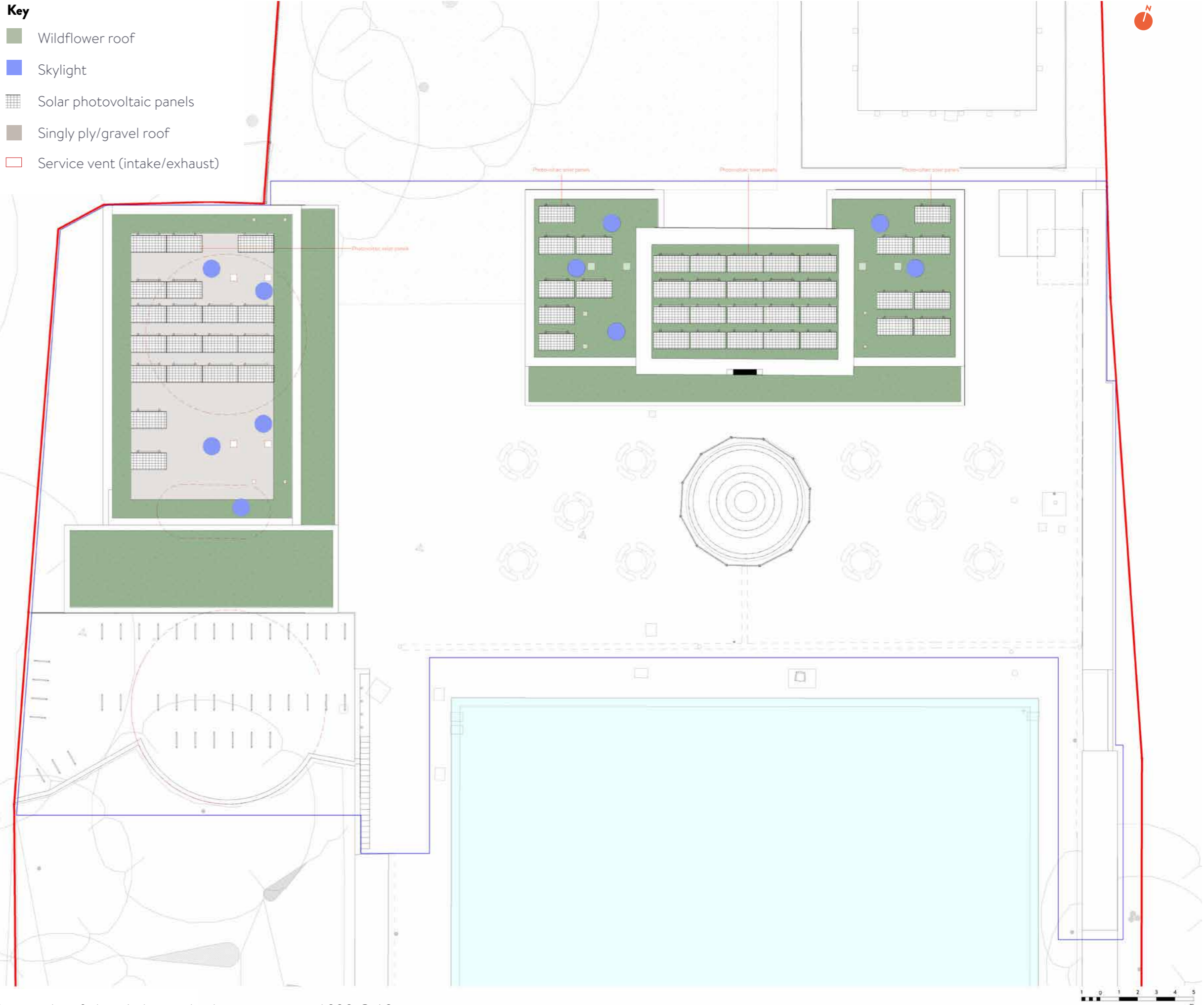
LANDSCAPE DESIGN

The proposed roofs on the colonnades will be biodiverse wildflower, whilst all roofs on the shower blocks and club room/shelter will also be biodiverse wildflower. On the entrance building, we propose a wildflower border but single ply/gravel centre due to the minimised exposure to sunlight due to the trees ahead. Solar photovoltaic panels will also be situated on the roofs with good exposure to sunlight (refer to MEP drawings). There are also a number of skylights bringing light into the internal spaces within.

All parapets are a minimum of 150mm. Due to the single storey nature of the buildings, the roofs will be easily accessible for maintenance via a scaffold platform.



Wildflower roof with PVs



Proposed roof plan - Indicative landscape strategy - 1:200 @ A3

STRATEGIES

ACCESS STRATEGY

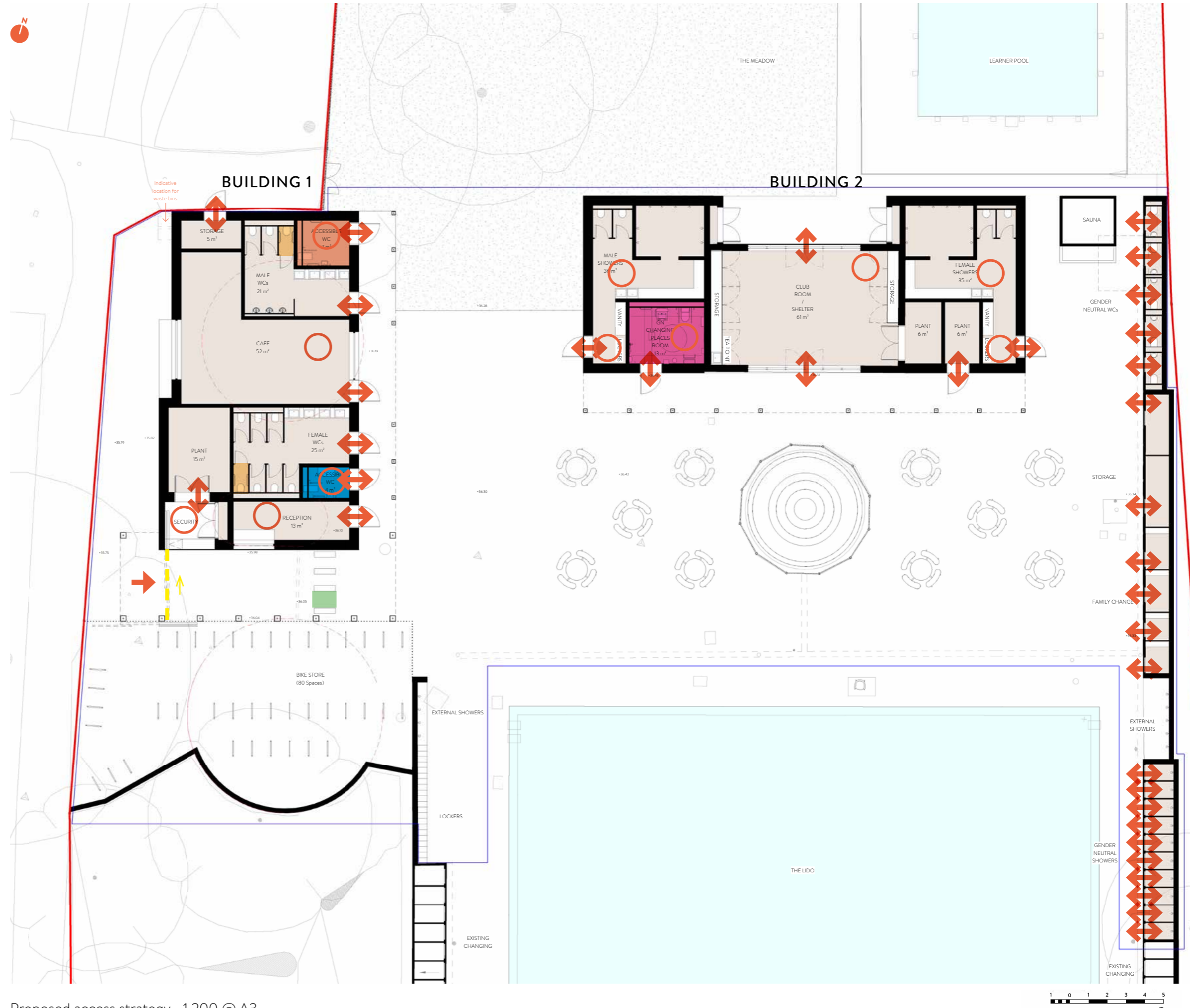
ACCESS STRATEGY

Access to the proposed buildings will be step free throughout. Two unisex wheelchair-accessible WCs are proposed within building 1, with one of these also incorporating an accessible shower. Both the male and female WC blocks also provide a cubicle for ambulant disabled users. There is also a Changing Places Room located in building 2. One turnstile is widened for wheelchair accessibility. The kitchen, reception and security will have lowerable countertops for wheelchair users.

Overall, the proposal will be fully compliant with current Part M Building Regulations and London Borough of Wandsworth requirements for access.

Key

-  Level threshold
-  Ambulant WC
-  Accessible WC
-  Accessible WC + Shower
-  Changing Places Room
-  1500mm Turning circle
-  Widened turnstile
-  Entry point
-  Sliding door to open and close the pool







Proposed access strategy - 1.200 @ A3

ACCESS STRATEGY

ACCESS STRATEGY

The adjacent drawing zooms into the entrance building's access strategy.

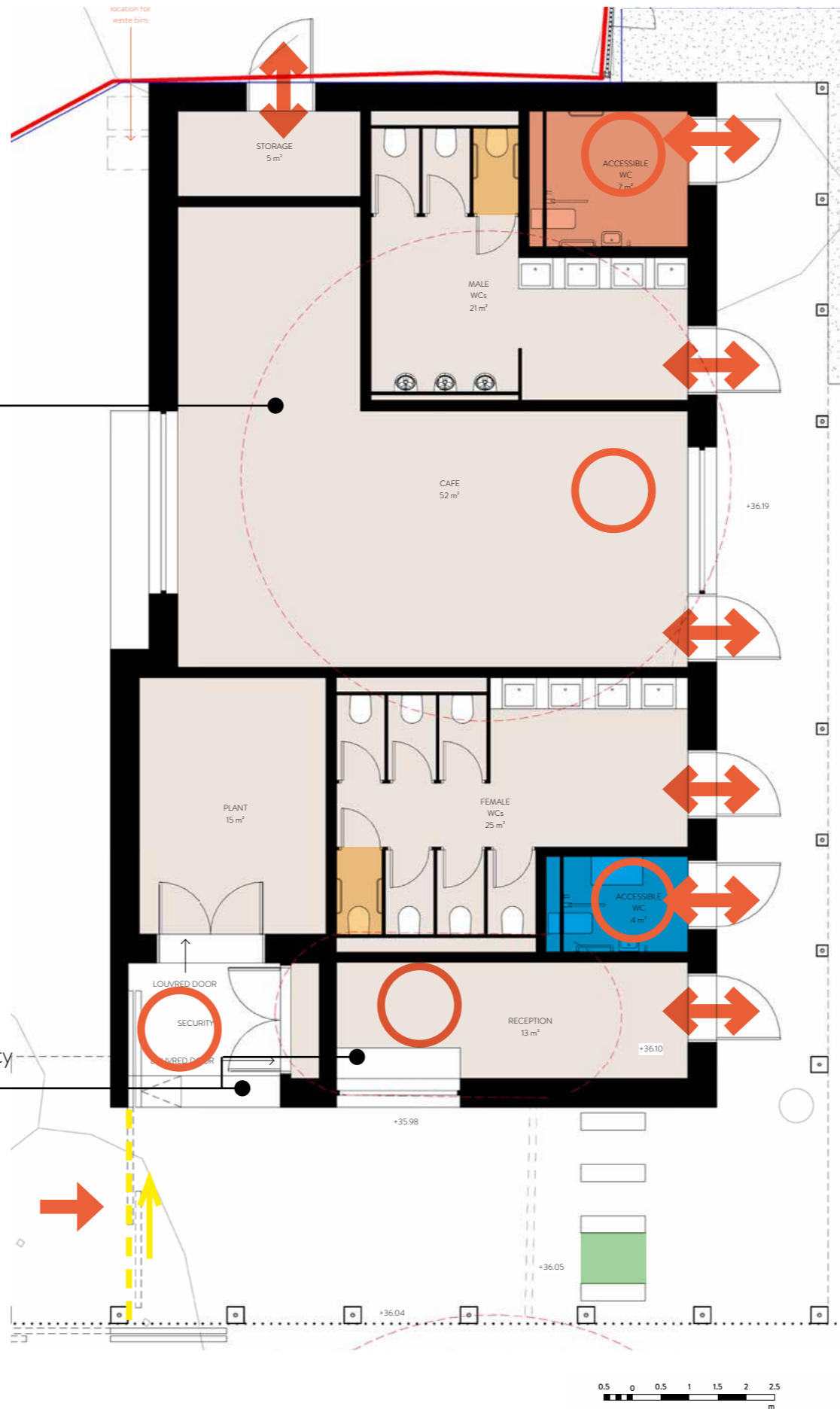
Key

-  Level threshold
-  Ambulant WC
-  Accessible WC
-  Accessible WC + Shower
-  Changing Places Room
-  1500mm Turning circle
-  Widened turnstile
-  Entry point
-  Sliding door to open and close the pool



Lowerable countertops provided in café kitchen

Lowerable countertops in security and reception











Proposed access strategy - Entrance building - 1:100 @ A3

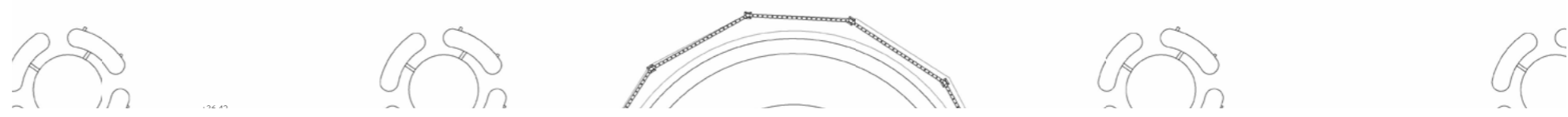
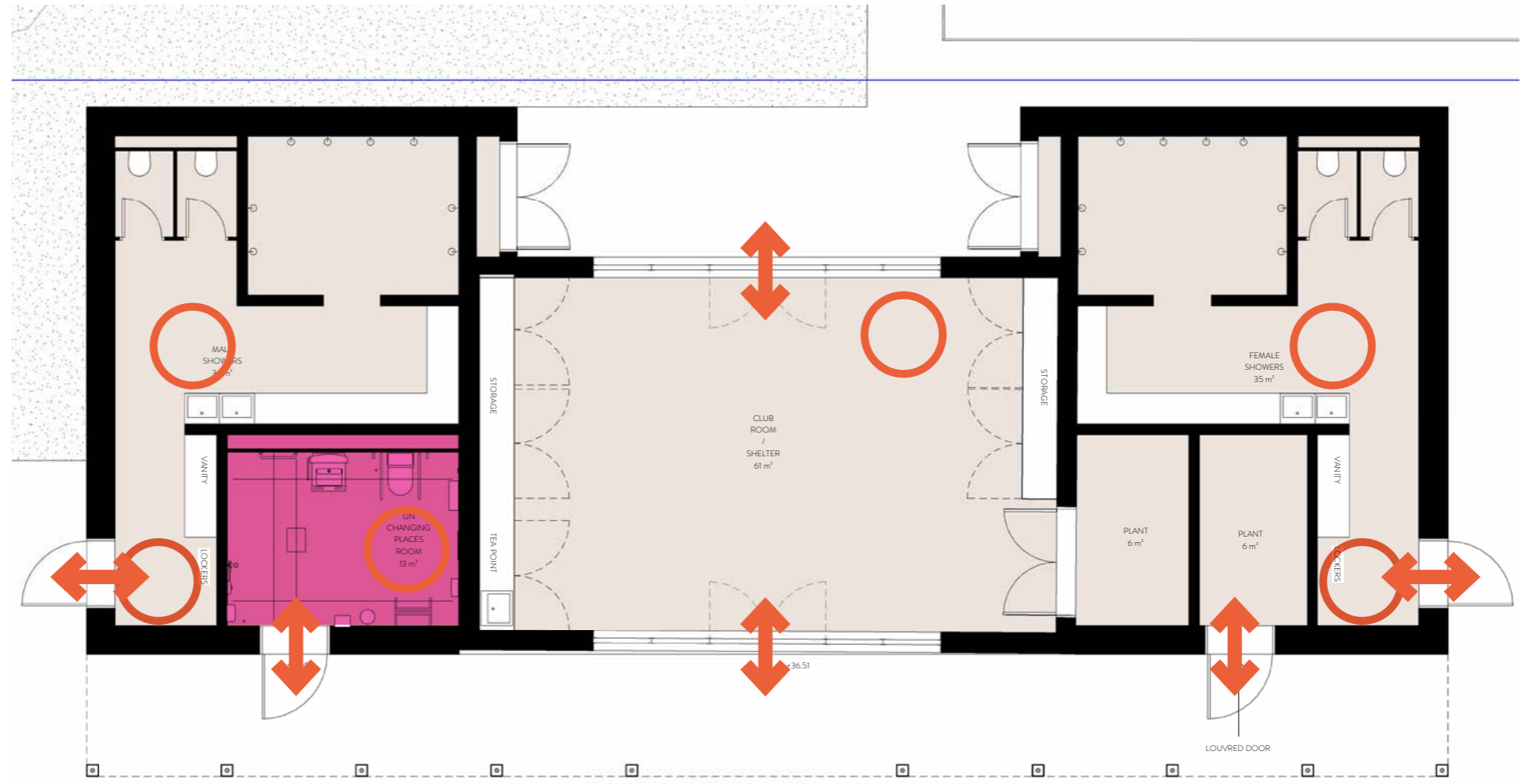
ACCESS STRATEGY

ACCESS STRATEGY

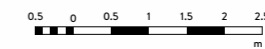
The adjacent drawing zooms into the shower/shelter building's access strategy.

Key

-  Level threshold
-  Ambulant WC
-  Accessible WC
-  Accessible WC + Shower
-  Changing Places Room
-  1500mm Turning circle
-  Widened turnstile
-  Entry point
-  Sliding door to open and close the pool



Proposed access strategy - Shower/shelter building - 1:100 @ A3



FIRE STRATEGY

FIRE STRATEGY

London Plan Policy D12 requires development proposals to achieve the highest standards of fire safety, embedding these at the earliest possible stage: “In the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety...” Please refer to the planning drawings submitted with this application and included within appendix 1 of this document for the extent of works included in this application, which essentially includes: demolition of existing changing/entrance facilities and part of storage along eastern boundary, construction of new entrance/WC/cafe building, refurbishment and extension of the existing cafe to provide a club room shelter and showers, and additional storage/family changing/showers along the eastern boundary, replacing the demolished storage block.

The responsibility for Fire Safety at this location under the Regulatory Reform (Fire Safety) Order 2005 remains with the local authority (Wandsworth London Borough) who own and maintain the building. All proposed works will meet the requirements of Part B of the Building Regulations 2010 (with 2022 amendments), Volume 2.

To demonstrate developments have met the highest standards of fire safety, proportionate to the development, the following information should be addressed as per London Plan Policy D12 (A1-6):

1. Identify suitably positioned unobstructed outside space for: a) fire appliances to be positioned on, b) appropriate for use as an evacuation assembly point

The access for emergency service vehicles will remain as existing, that is via the public highway. The proposed works do not alter the existing provision for emergency vehicles/fire appliances

The evacuation assembly points are outside the Lido boundary within Tooting Bec Lido Common on the Lido car park. The proposed works do not alter the existing provision for evacuation assembly points.

2. Are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire; including appropriate fire alarm systems and passive and active fire safety measures

The proposed works will include extending the fire detection and alarm

system and integration of appropriate and adequately lit wayfinding as per Part B of the Building Regulations 2010 (with 2022 amendments), Volume 2: Buildings Other Than Dwellings. The fire alarm system should comply with the relevant British Standards.

Active fire safety measures are provided within the Lido by Wandsworth Borough Council. The proposed works do not alter the existing provision for active fire safety measures. Passive fire protection will also be implemented to prevent the spread of fire such as the use of fire resistance rated walls.

3. Are constructed in an appropriate way to minimise the risk of fire spread

The proposed buildings will comply with Part B of the Building Regulations 2010 (with 2022 amendments), Volume 2. The proposed walls will likely be blockwork, cavity insulation and either blockwork with render or glazed brickwork to the outer face, with fire resisting construction in accordance with Part B of the Building Regulations 2010 (with 2022 amendments), Volume 2. Cavity barriers should be at every opening.

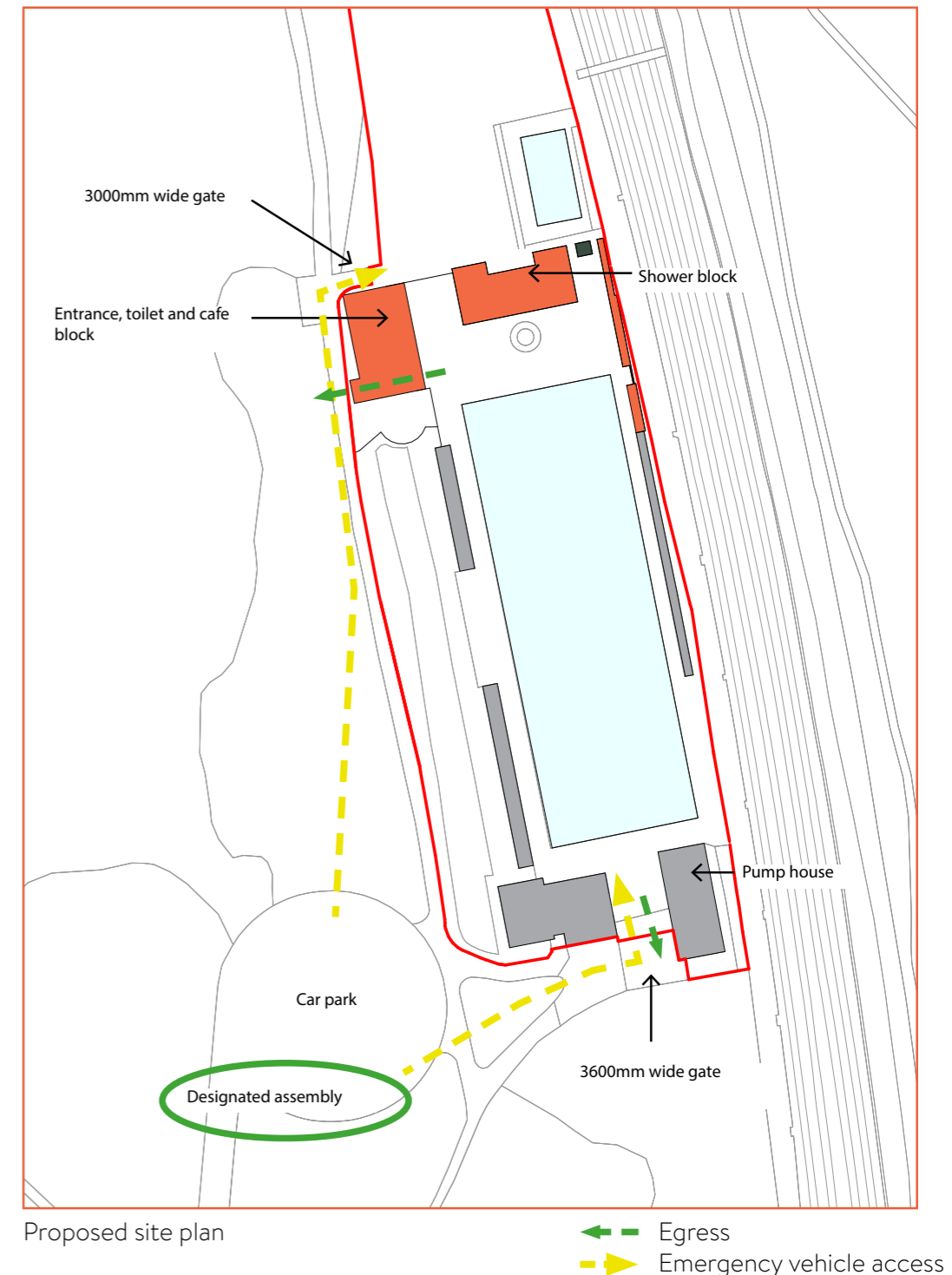
4. Provide suitable and convenient means of escape, and associated evacuation strategy for all building users

The proposed works do not alter the existing provision for fire safety means of escape, other than the proposal of automatically collapsing turnstiles to enable ease of escape at the entrance. Adequately lit wayfinding will be incorporated. The proposal is single story and therefore has no stair or lift requirement.

5. Provide suitable access and equipment for firefighting which is appropriate for the size and use of the development

The proposed works do not alter the existing provision for access and firefighting equipment measures which are maintained by Wandsworth Borough Council.

Prior to works commencing on site we will undertake a full site fire strategy assessment to ensure the site as a whole is compliant and attains the highest standards of fire safety.



Proposed site plan

SUSTAINABILITY AND ENERGY ASSESSMENT

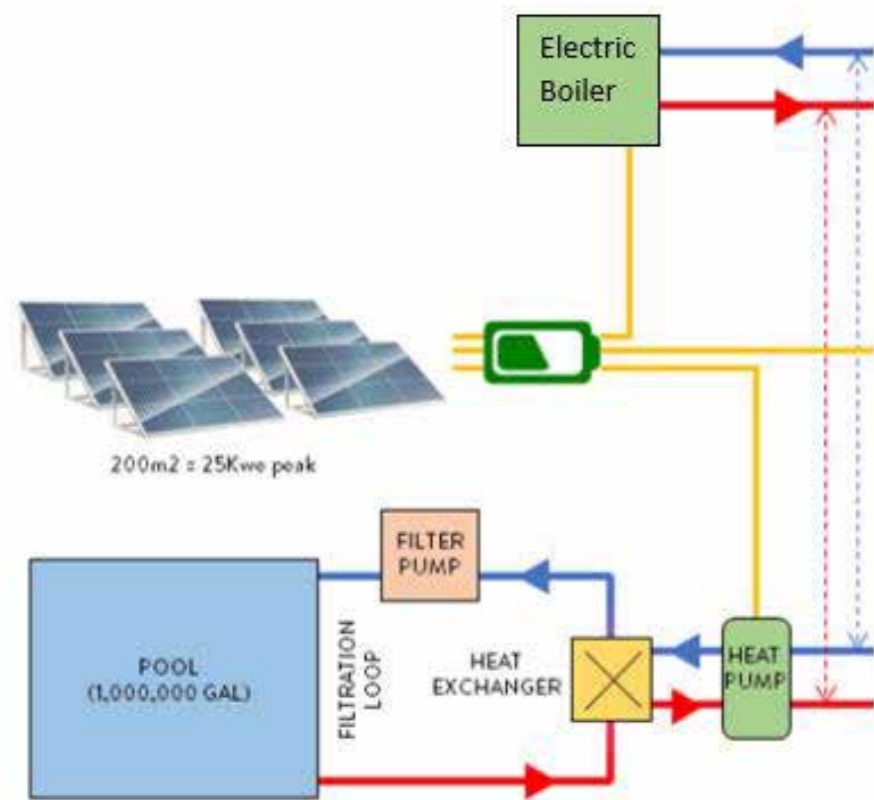
SUSTAINABILITY AND ENERGY ASSESSMENT

By introducing the new buildings, the thermal performance of the internal spaces has improved which minimises the amount of heating energy required.

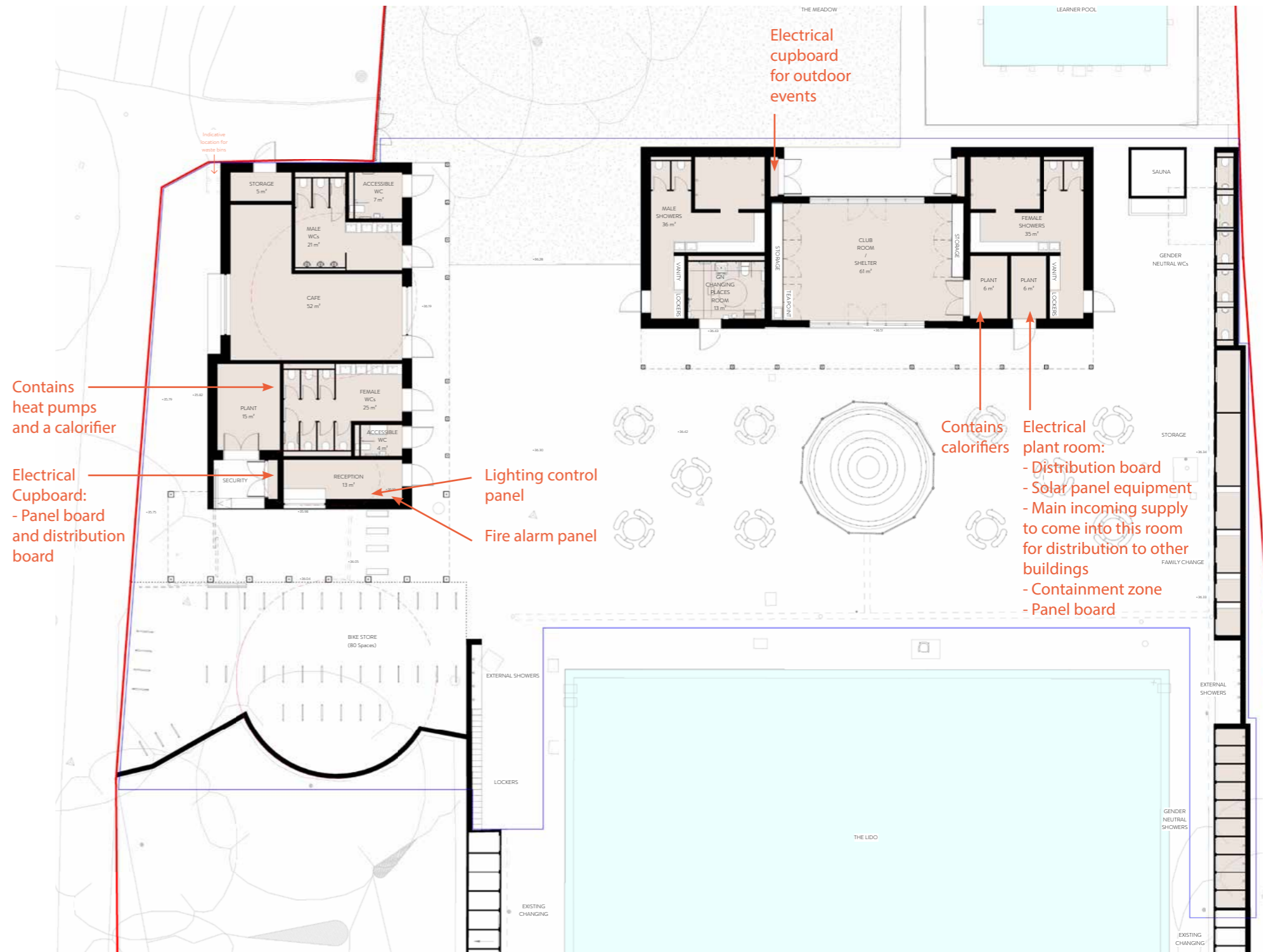
This heat will then be generated using naturally available heat and low carbon technologies.

To generate heat for space heating and hot water, we will utilize the pool filtration system to harvest free heat. By taking a small fraction of the ambient pool water and running it through a heat exchanger the heat from the pool can then be transferred to the heating system.

A water source system has the same efficiency as a ground source system with the added benefit of less embodied carbon due to requiring less pipe work and drilling.



Schematic of Heating Generation Technologies- mstep



Proposed Plant Layout

SUSTAINABILITY AND ENERGY ASSESSMENT

SUSTAINABILITY AND ENERGY ASSESSMENT CONT.

The peak hot water demand occurs in the warmer months of the year where the lido capacity is at its highest and no space heating is required. This is also when there is the most heat available in the pool, increasing the system efficiency.

The peak space heating demand occurs in the colder months of the year where the lido occupancy is at its lowest and only a small number of showers are required. This means that in winter the sum of the hot water demand for the showers plus the space heating demand is less than that required for the peak summer hot water demand when the shower demand is at its highest and no space heating is required. Therefore, the overall heating and hot water system is to be sized on the peak summer occupancy.

The hot water buffer vessels will be fitted with electric immersion heaters as back up to accommodate period of high demand.

With these systems, we aim to reduce the amount of energy required for heating and hot water generation by up to 75% compared to a stand alone electric boiler system.

The building roofs will have PV panels placed on top of green roofs. The combination of the two systems help each other become more efficient. The green roofs have a cooling effect in the summer as they absorb heat which will lower the ambient temperature around the PV panels making them more efficient as they lose efficiency at higher temperatures. In return the PV panels provide shading for the green roofs which can allow for a wider variety of vegetation and insects.

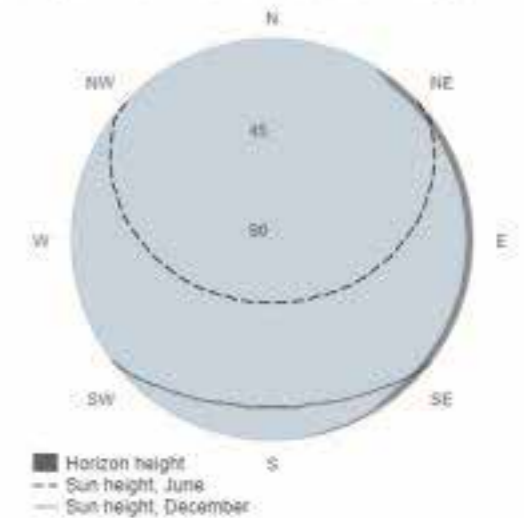
Provided inputs:

Latitude/Longitude: 51.433,-0.139
 Horizon: Calculated
 Database used: PVGIS-SARAH2
 PV technology: Crystalline silicon
 PV installed: 15 kWp
 System loss: 14 %

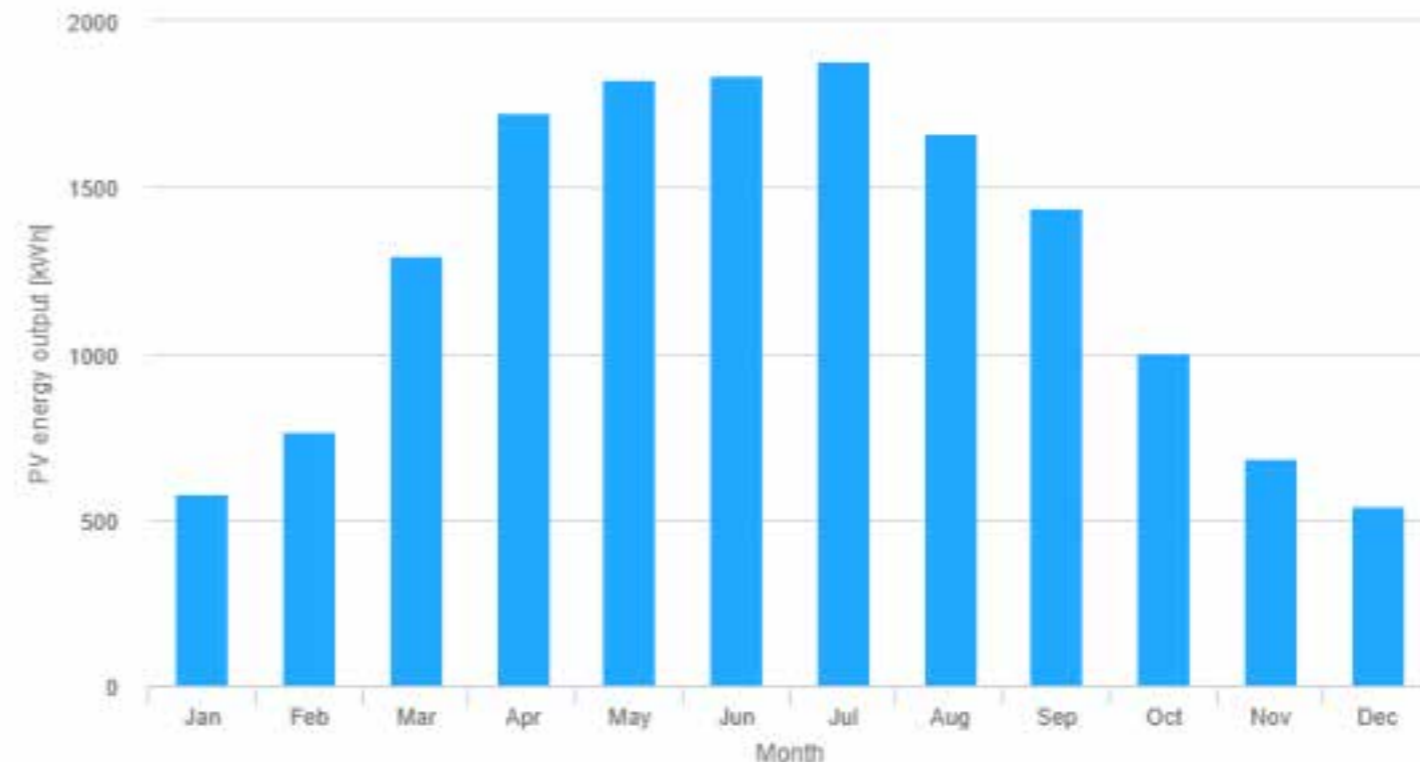
Simulation outputs

Slope angle: 35 °
 Azimuth angle: 0 °
 Yearly PV energy production: 15244.18 kWh
 Yearly in-plane irradiation: 1256.89 kWh/m²
 Year-to-year variability: 623.94 kWh
 Changes in output due to:
 Angle of incidence: -3.16 %
 Spectral effects: 1.9 %
 Temperature and low irradiance: -4.72 %
 Total loss: -19.14 %

Outline of horizon at chosen location:



Monthly energy output from fix-angle PV system:



STRUCTURAL STRATEGY

STRUCTURAL STRATEGY

Structural Strategy

From a structural perspective the Tooting Lido project offers an exciting opportunity for sensitive intervention and extension of the existing building fabric surrounding the historic Lido. The structural strategy, which has been developed in conjunction with the architect, is to reuse the buildings where practicable, minimise the impact of demolition where not, maximise the recycling/reuse of the existing materials and employ sustainable methods of construction for any new structures.

Existing Buildings

The existing western entrance buildings which house toilet blocks the ticketing booth, and a tall entrance frame are formed from galvanised steel and infill masonry construction. In the proposed scheme these frames will be dismantled with the steel recycled and the masonry crushed if practicable and used as below ground fill. The substructure from both building will be left in the ground and undisturbed where practicable to minimise the amount of material removed from site.

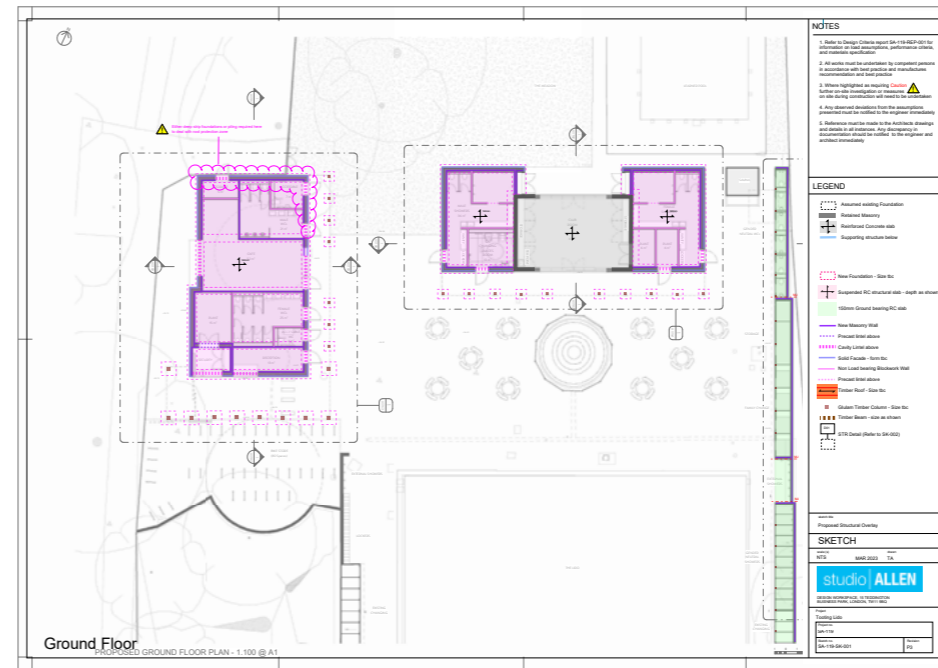
The centrally positioned existing café building which is formed from traditional construction will have its masonry shell retained and potentially a new timber roof constructed to prolong the lifespan of the building and allow the heavier green roof and PV panels to be supported.

The Eastern liner Changing Blocks will be rebuilt in a manner similar to the original blocks using traditional masonry and timber construction.

New Buildings

Design of the new entrance block and the amenity wings that flank the retained café building have been designed as single story traditional framed buildings with timber roofs. The potential to use a prefabricated cross laminated timber (CLT) framing system has also been developed subject to commercial appraisal. Subject to site investigation data the new buildings will be supported off shallow trench foundations. Given the proximity of large trees and their associated root protection zones consultation will be required with the appointed Arboriculturist which may lead to the installation of a part piled foundation system. Any piled foundation system could take the form of either screw piles or small diameter base driven mini piles.

The colonnade canopies that surround a number of the buildings will be formed from portal framed glue laminated softwood timber (Glulam).



TRANSPORT STATEMENT

TRANSPORT STATEMENT

Pedestrian and Cycle Access

Tooting Bec Lido is currently accessed via tarmac paths from Tooting Bec Road, the Lido car park and the Common. These paths are managed by Wandsworth Council and the configuration is not due to change with the proposed plans.

The CS7 London Cycle Route runs along the nearby Balham High Road which is a further 5 minute cycle to Tooting Bec Lido. Cycle parking is available at Streatham Common, Tooting, Tooting Bec and Balham Stations. As part of the development, the existing cycle storage at Tooting Bec Lido will be replaced, with the same number of Sheffield stand spaces reprovided (80 spaces, 40 stands). There are also a number of existing cycle parking spaces that will be retained at the south end of the Lido for staff usage.

Public Transport

The nearest stations to Tooting Bec Lido are:

- Streatham (National Rail):** 16 minute walk
- Streatham Common (National Rail):** 23 minute walk
- Tooting Bec (Northern line):** 20 minute walk
- Tooting (National Rail):** 30 minute walk
- Balham (Northern line):** 20 minute walk

Bus services nearby are very regular, with the 249 and 319 bus routes stopping directly outside the Lido at the Tooting Bec Lido bus stop.

Vehicle Access

Access by car is via the Lido car park which is accessed off Tooting Bec Road. At present this has approximately 60 spaces (including disabled parking) and the proposed plans do not affect this configuration.

Service and emergency vehicles also access the site via Tooting Bec Road. There is an emergency vehicle access point adjacent to the existing circular shallow end buildings which will be retained.



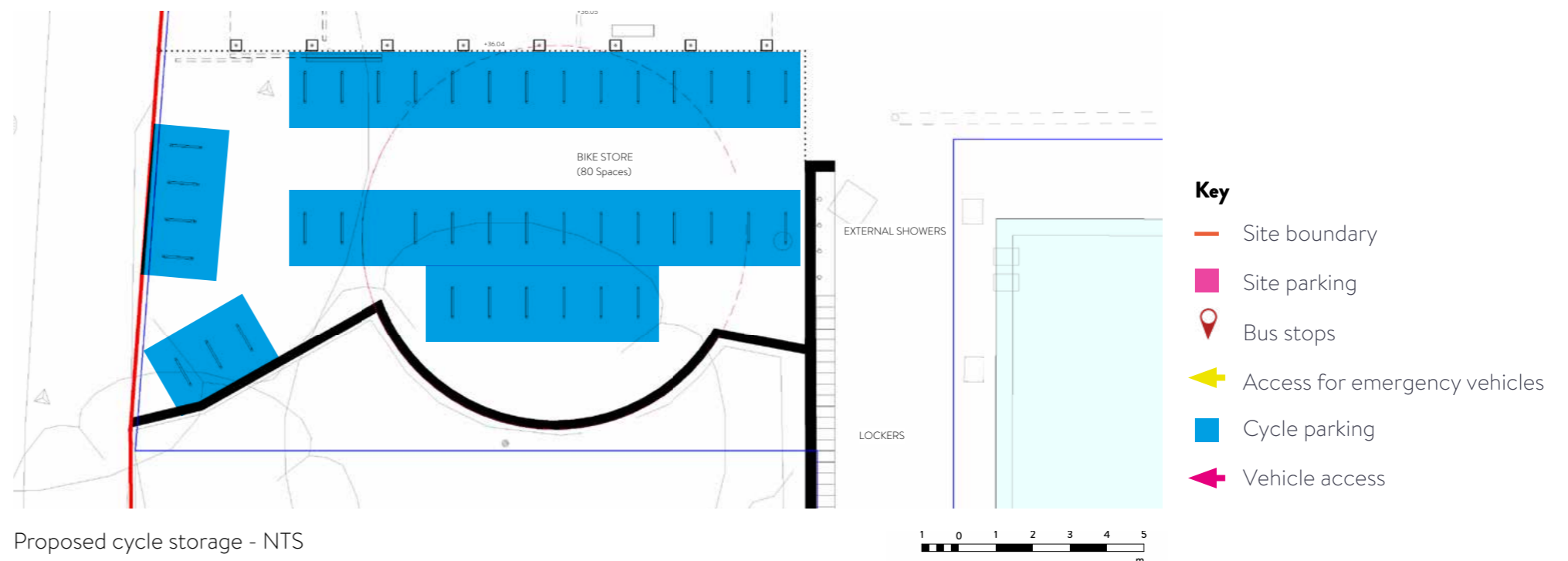
Aerial view of the site - Image courtesy of Google Earth



Photo of the Lido carpark



Photo of emergency vehicle access point



Proposed cycle storage - NTS

LIGHTING PLAN

LIGHTING PLAN

It is a requirement of the Common to avoid increased light pollution. In accordance with 'Lighting in the Countryside; towards Best Practice' it is suggested that the proposal can proceed without additional lighting. Indeed, the proposed entrance will only be utilised from sunrise to sunset, minimising the need for lighting. In line with the current pool strategy, there is no proposal in this application for any lighting to the outdoor pool area. Internally, the lighting will consist of low-energy lamps controlled via Passive Infra-Red (PIR) detectors to avoid lighting being left on when the buildings are not in use. The majority of usable internal spaces will also be provided with roof lights. The opening overlooking the Common will be closed at nighttime with a shutter, ensuring minimal spill of light from the building to the surrounding Common.



WASTE/SITE WASTE MANAGEMENT PLAN

WASTE/SITE WASTE MANAGEMENT PLAN

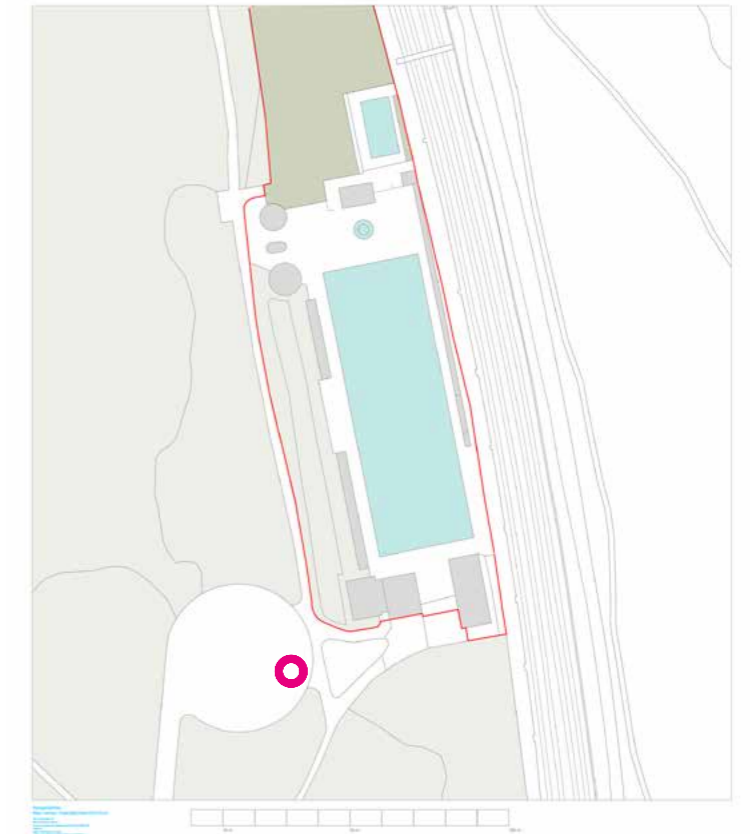
A site construction and waste management plan will be a requirement of the contract arranged to construct the works shown in the planning application, under government guidance 'Site Waste management Plans: Guidance for Contractors and Clients'. The management of waste generated day to day at the Lido is controlled by the Leisure Management Company under terms laid down by the London Borough of Wandsworth. These arrangements will be extended to cover the operation of the new buildings proposed in this application. Meanwhile, the SLSC also has a recycling separation system in place at the Lido consisting of banks of different colour bins for different materials. This system will be extended to the new proposal. Indeed a bin store (12 bins) is proposed adjacent to the pump house. Waste from the proposed buildings in this application will be collected throughout the day and stored here. The bins will be put out for street collection on relevant days. We are conscious that the cafe is open to the park which therefore may bring some litter. To avoid this, we have proposed external bins adjacent to the kiosk to be coordinated with other bins across the site. The locations and final design of these is to be agreed with planning authorities and relevant groups and a contract may be in place with the cafe operator.



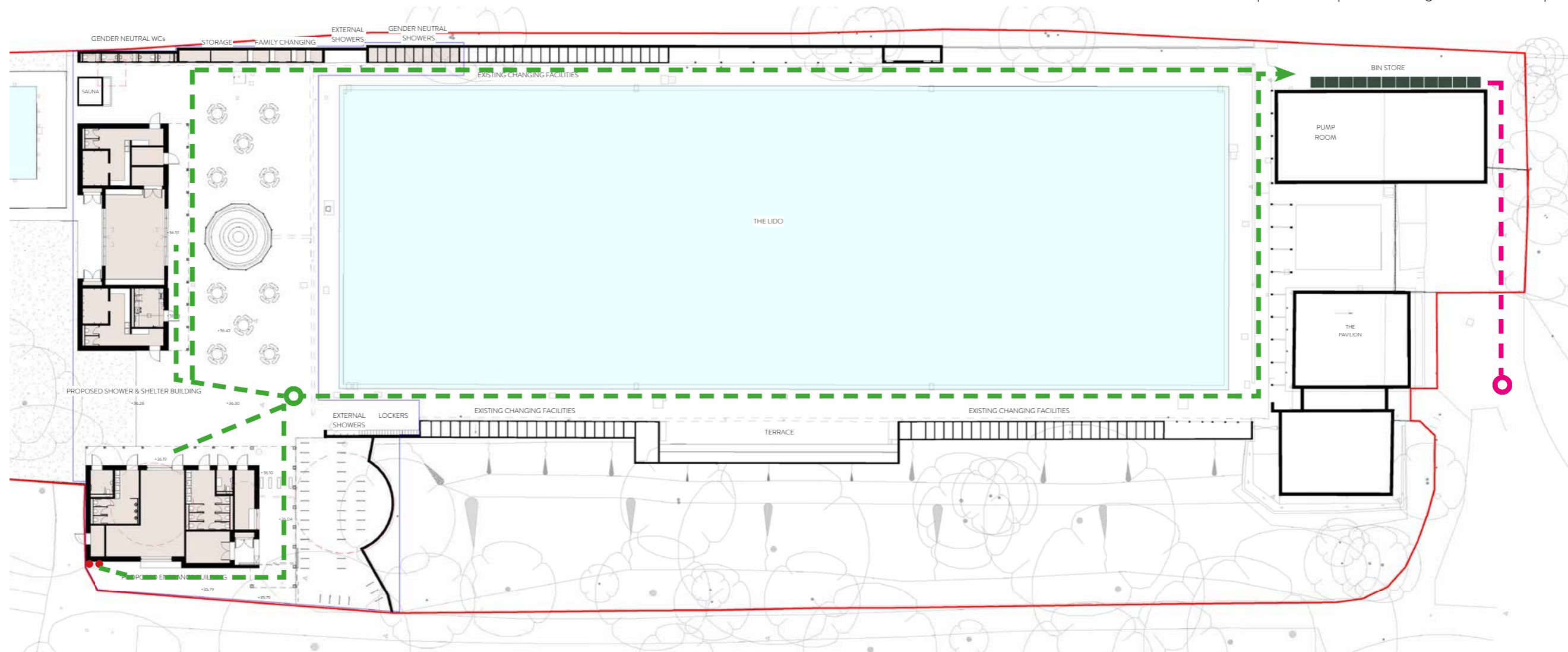
Possible bin type next to kiosk - tbc

Key

- Indicative Site boundary
- - - Route of waste to bin store
- Bin store
- Street collection
- Kiosk bin



Proposed site plan showing bin collection point - NTS



Proposed site plan - NTS

CONCLUSION

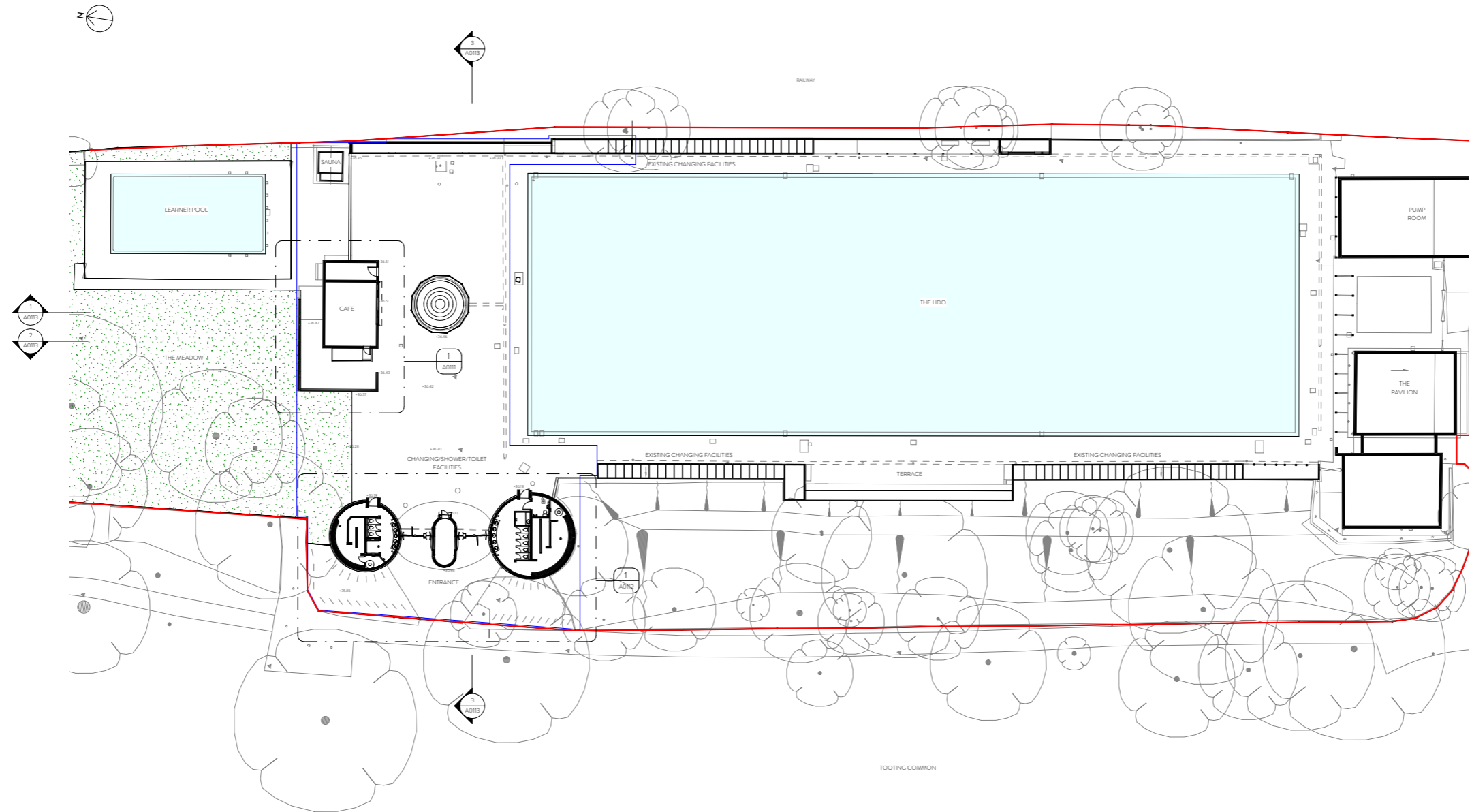
CONCLUSION

Overall, the design proposal has been driven by a genuine collaboration with the users of Tooting Bec Lido, Planning Officers and local organisations. Fortnightly meetings with the passionate SLSC team have taken their brief from a short term solution to a long term transformation of the Lido, and we hope our design will add another layer to the rich history of the pool. We feel the proposal is both sensitive to the context whilst providing the much needed uplift in facilities and increasing the viability of failing elements such as the café. Post planning, the SLSC will begin exploring funding options to bring the scheme to life, and we look forward to starting on site in the near future to truly be able to implement this great improvement to Tooting Bec Lido.



Proposed entrance visual

APPENDIX 01 - ARCHITECTURAL DRAWINGS



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11. Topography data was produced by Awerth Survey Consultants.
12. Measured building survey was produced by Castle Surveys. Internal walls shown on existing changing facilities indicative. Further surveys are required before commencement of works.

EXISTING SITE PLAN KEY

- - - - - Indicative site boundary
- Indicative planning application boundary
- Pool

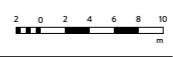
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001	FOR PLANNING	02/02/23	AH	AM

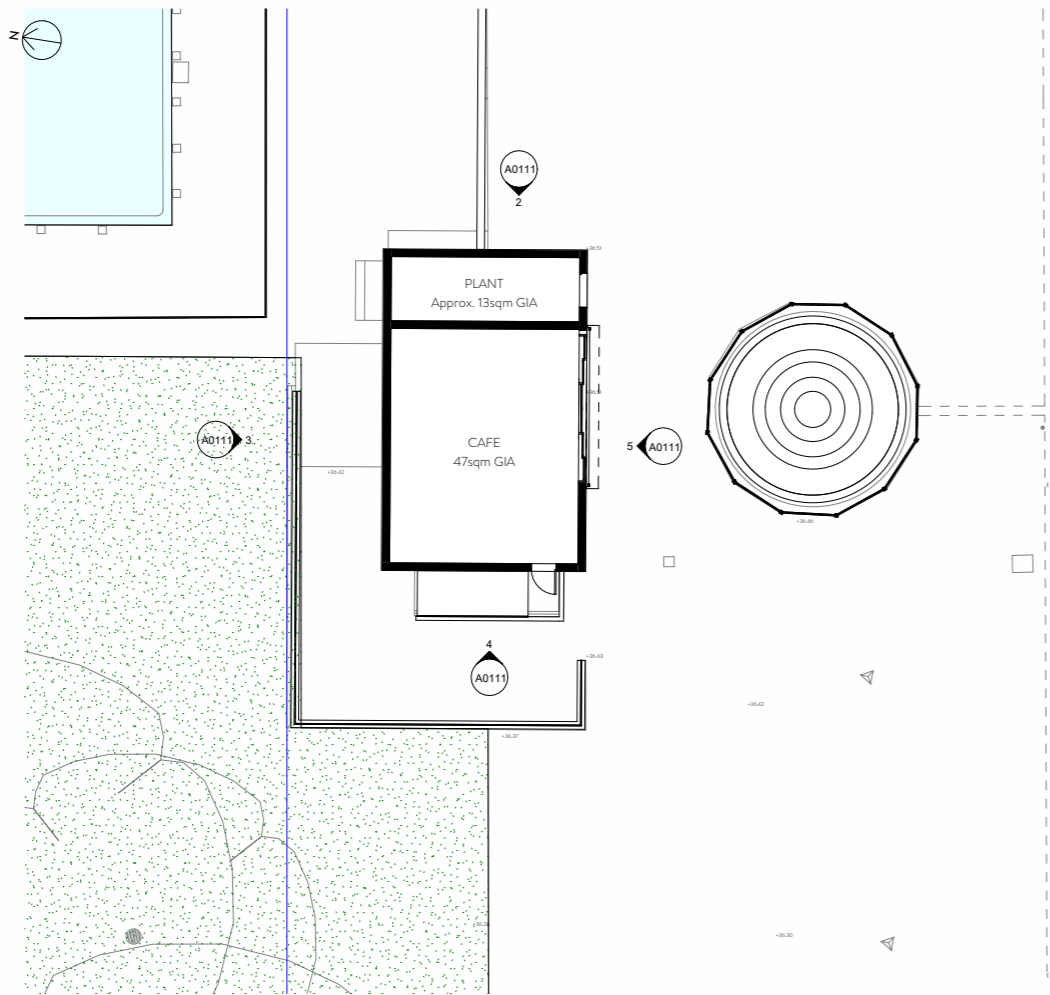
ORIGINAL BY AH



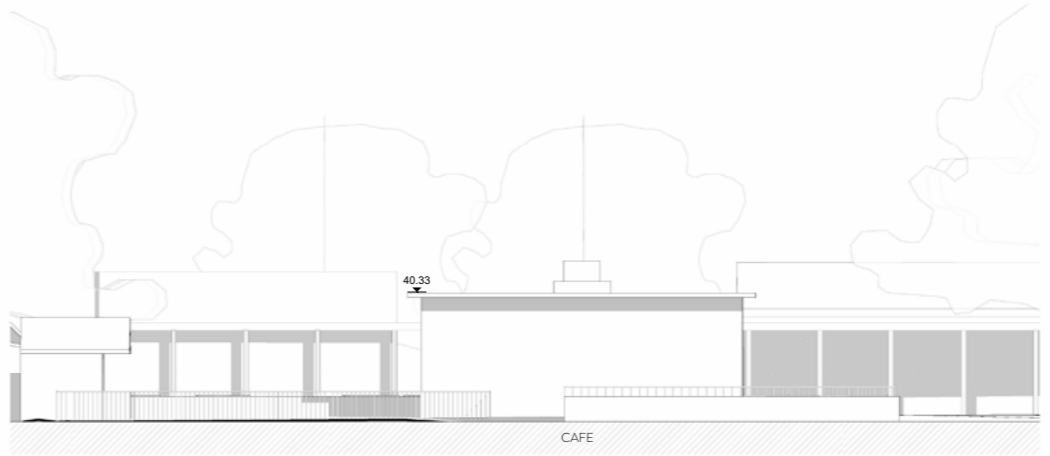
Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Drawing Title	EXISTING SITE PLAN
Drawing Number	WRAP DRG A A0110 As indicated
Project Number	22007 FOR PLANNING
Scale	1:1000
Author	AH
Checker	AM
Approver	AM

1 EXISTING SITE PLAN - 1:250 @ A1





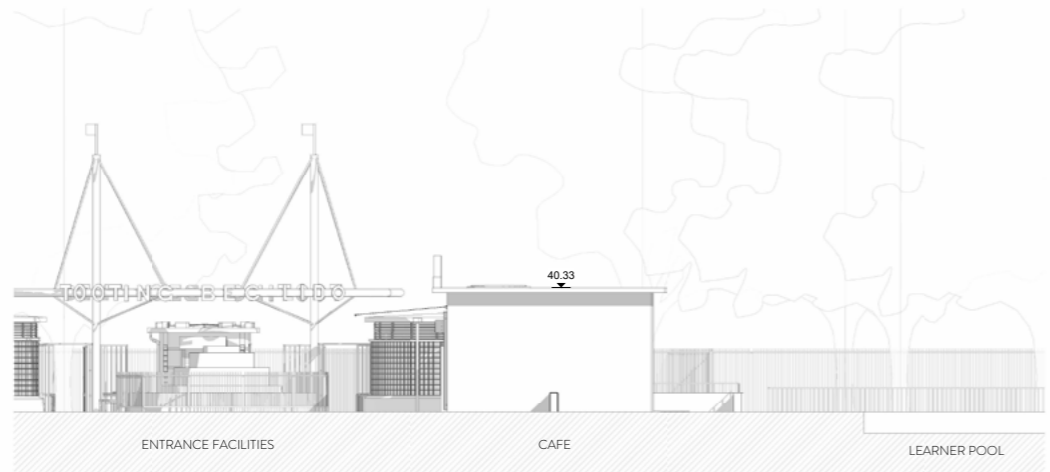
1 EXISTING PLAN - CAFE - 1.100 @ A1



3 EXISTING CAFE - NORTH ELEVATION - 1.100 @ A1



4 EXISTING CAFE - WEST ELEVATION - 1.100 @ A1



2 EXISTING CAFE - EAST ELEVATION - 1.100 @ A1



5 EXISTING CAFE - SOUTH ELEVATION - 1.100 @ A1

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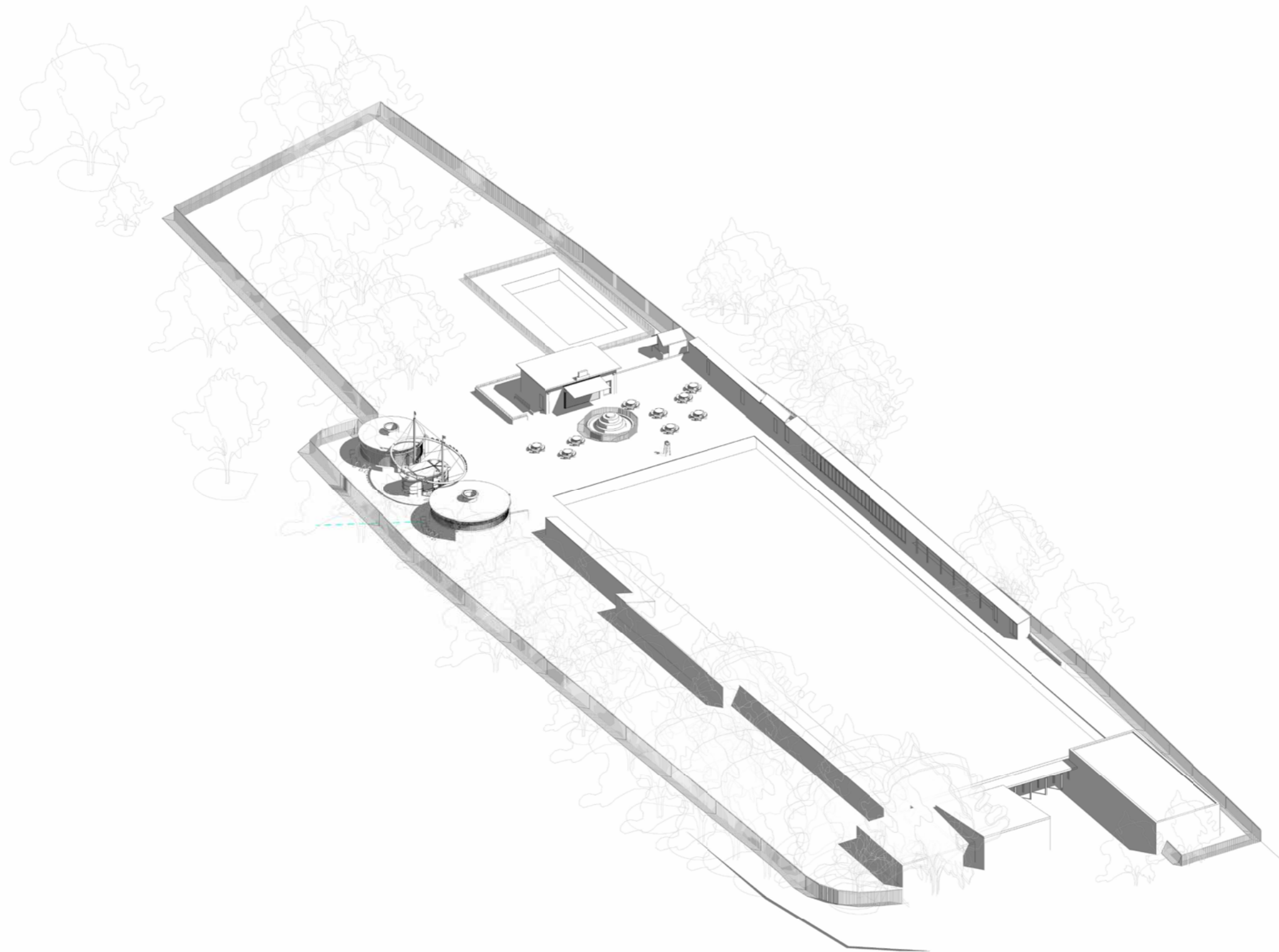
EXISTING SITE PLAN KEY
 - - - Indicative site boundary
 - - - Indicative planning application boundary
 □ Pool



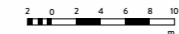
Rev	Description	Date	By	Chk
001	For Planning	05/05/23	AH	AB



Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Project Title	EXISTING PLANS & ELEVATIONS 1 OF 2
Drawing Number	WRAP DRG A- A0111 As indicated
Project Number	22007
Project Name	FOR PLANNING
Project Code	WRAP DRG A A0111 P01



1 EXISTING AXONOMETRIC - 1,250 @ A1



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001	For Planning	02/02/23	AH	MB

ORIGINAL BY AH

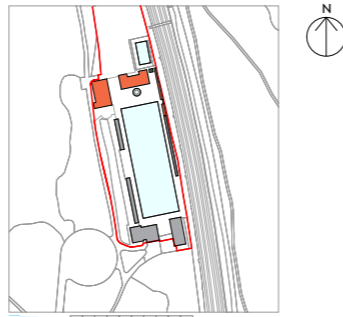


Client
 SOUTH LONDON SWIMMING CLUB
 Project
 TOOTING BEC LIDO
 Drawing Number
 EXISTING AXONOMETRIC
 Drawing Number
 WRAP DRG A A0114
 Project Number
 22007
 FOR PLANNING

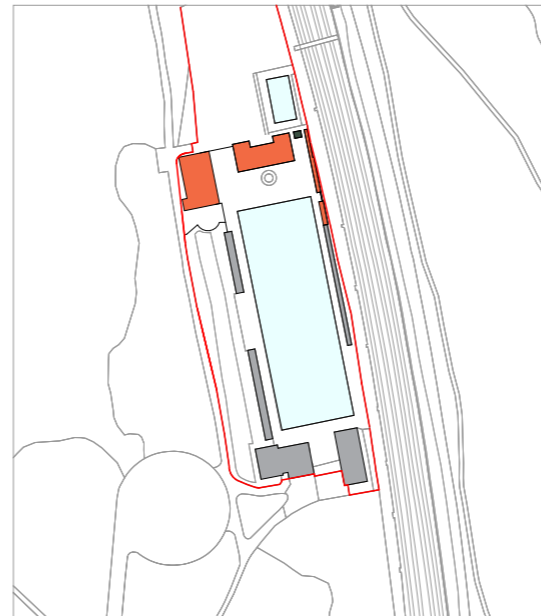
WRAP	DRG	A	A0114	P01
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Map Number: TQRQM2235410513014
 Title: Tooting Bec Lido
 Map Produced for: WR-AP
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1 PROPOSED LOCATION PLAN - 1:2500 @ A1



2 PROPOSED LOCATION PLAN - 1:1250 @ A1



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PROPOSED SITE PLAN KEY

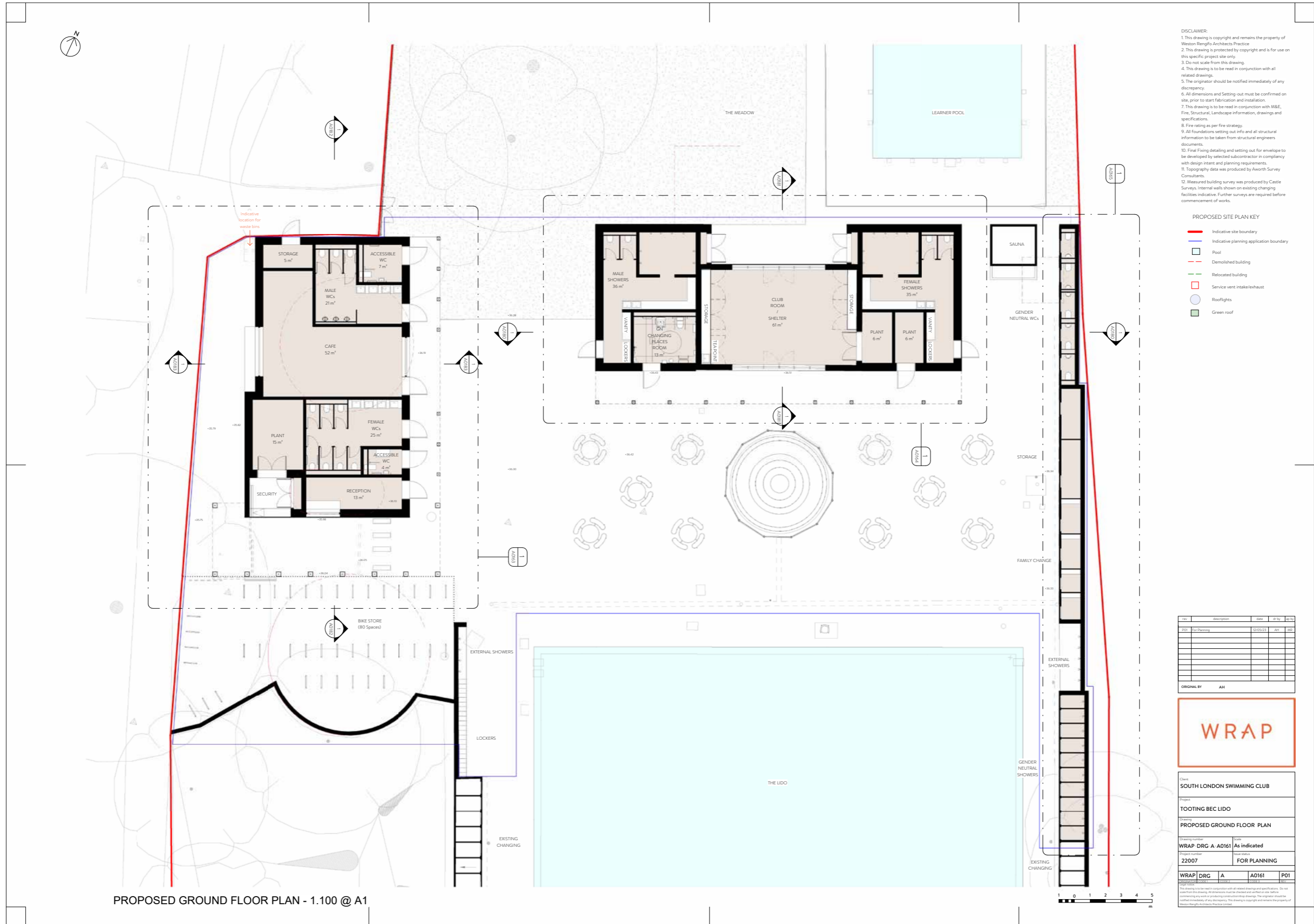
- Site boundary
- Existing building
- Pool
- Proposed building
- Relocated sauna

REV	DESCRIPTION	DATE	BY	CHK
001	For Planning	01/05/23	AH	MB

ORIGINAL BY: AH



Client	
SOUTH LONDON SWIMMING CLUB	
Project	
TOOTING BEC LIDO	
Drawing Title	
PROPOSED LOCATION AND SITE PLAN	
Drawing Number	
WRAP DRG A- A0150 As indicated	
Project Number	FOR PLANNING
22007	
WRAP DRG	A A0150 P01



PROPOSED GROUND FLOOR PLAN - 1.100 @ A1

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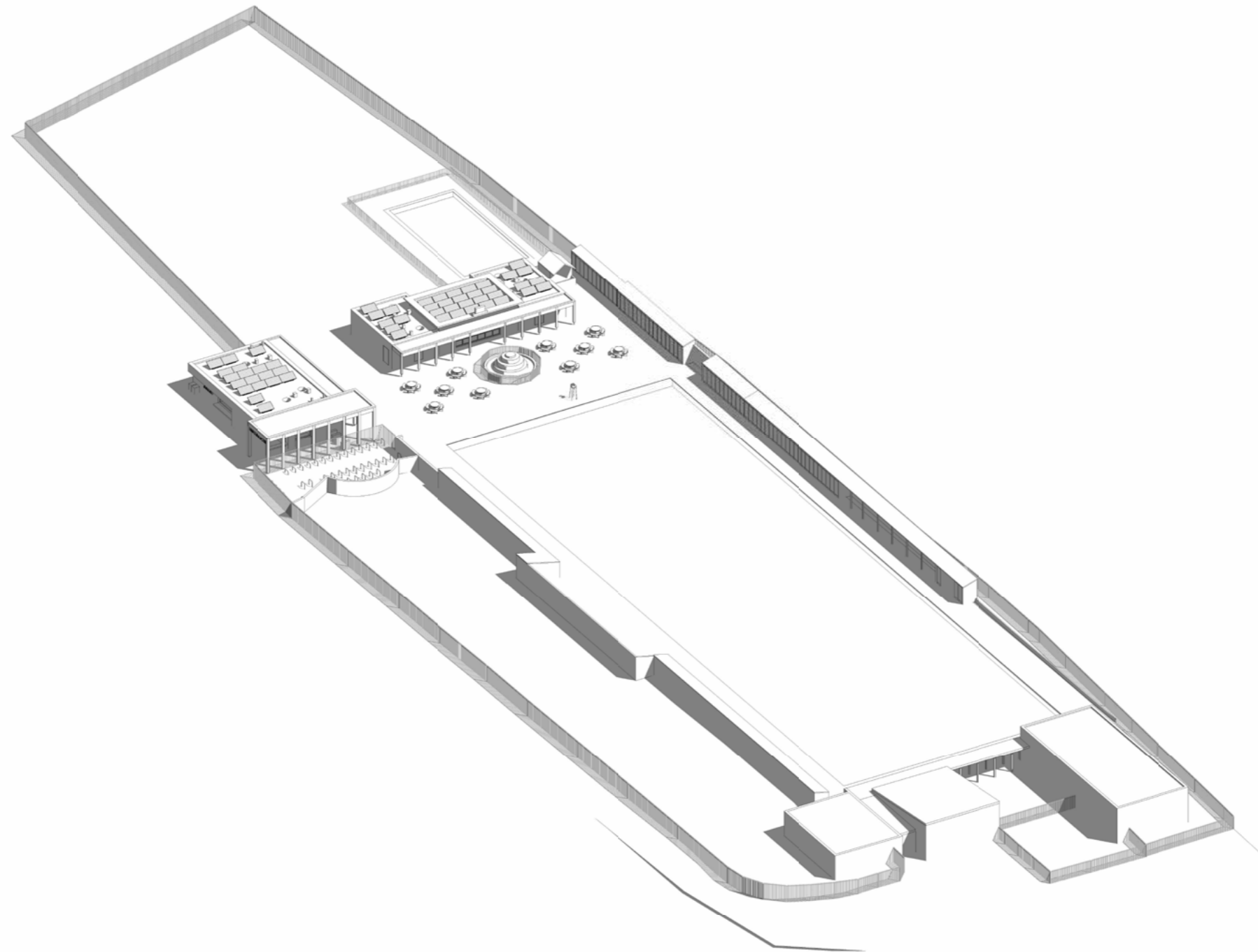
- PROPOSED SITE PLAN KEY**
- Indicative site boundary
 - Indicative planning application boundary
 - Pool
 - Demolished building
 - Relocated building
 - Service vent intake/exhaust
 - Rooflights
 - Green roof

REV	DESCRIPTION	DATE	BY	CHK
001	For Planning	02/02/23	AH	AB

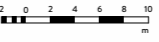
ORIGINAL BY AH



Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Project Title	PROPOSED GROUND FLOOR PLAN
Drawing Number	WRAP DRG A- A0161 As indicated
Project Number	22007 FOR PLANNING
Scale	1:100
Author	AH
Checker	AB
Approver	



1 PROPOSED AXONOMETRIC - 1:250 @ A1



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REV	DESCRIPTION	DATE	BY	CHK
001	For Planning	02/02/23	AH	MB

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Client
SOUTH LONDON SWIMMING CLUB

Project
TOOTING BEC LIDO

PROPOSED AXONOMETRIC

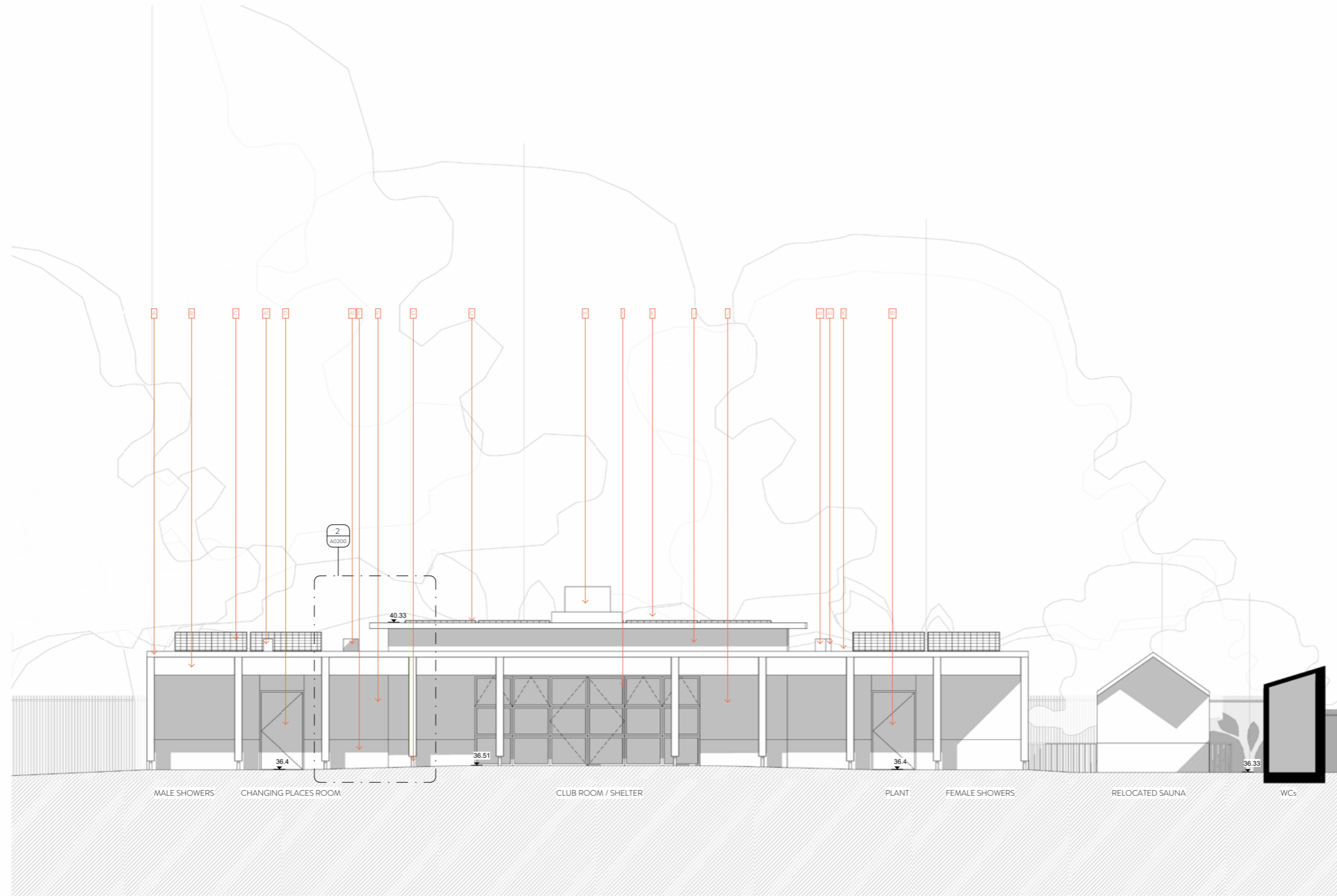
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Scale
22007

FOR PLANNING

WRAP	DRG	A	A0166	P01
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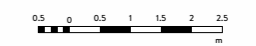
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1 PROPOSED SOUTH ELEVATION - SHOWER BLOCK - 1.50 @ A1

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- PROPOSED ELEVATIONS LEGEND**
- A Metal parapet coping
 - B Timber colonnade
 - C Photovoltaic solar panels (PVs)
 - D Single door with coloured panel above (green)
 - E Glazed blue brick plinth
 - F Light coloured render
 - G Metal footing to colonnade
 - H Existing sun dial - retained
 - I Heritage range doors/windows
 - J Light coloured render
 - K Green roof
 - L Single door with coloured panel above (yellow)
 - M Single door with coloured panel above (red)
 - N Single door with coloured panel above (blue)
 - O Glazed green brick - running bond
 - P Glazed green brick - vertical stack bond
 - Q Timber bar
 - R Green frame with shutter
 - S Integrated signage
 - T Single door with coloured panel above (red) and call opening with red frame and shutter with coloured panel below
 - U Double louvered door with coloured panel above (green)
 - V Climbing cable planters
 - W Railing
 - X Slate roof
 - Y Timber coloured door (red, yellow, green or blue) - to match existing
 - Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
 - AA Service vent intake/exhaust
 - AB Single louvered door with coloured panel above (yellow)



Rev	Description	Date	By	Chk
001	For Planning	02/05/23	AH	AB

ORIGINAL BY AH



Client
SOUTH LONDON SWIMMING CLUB

Project
TOOTING BEC LIDO

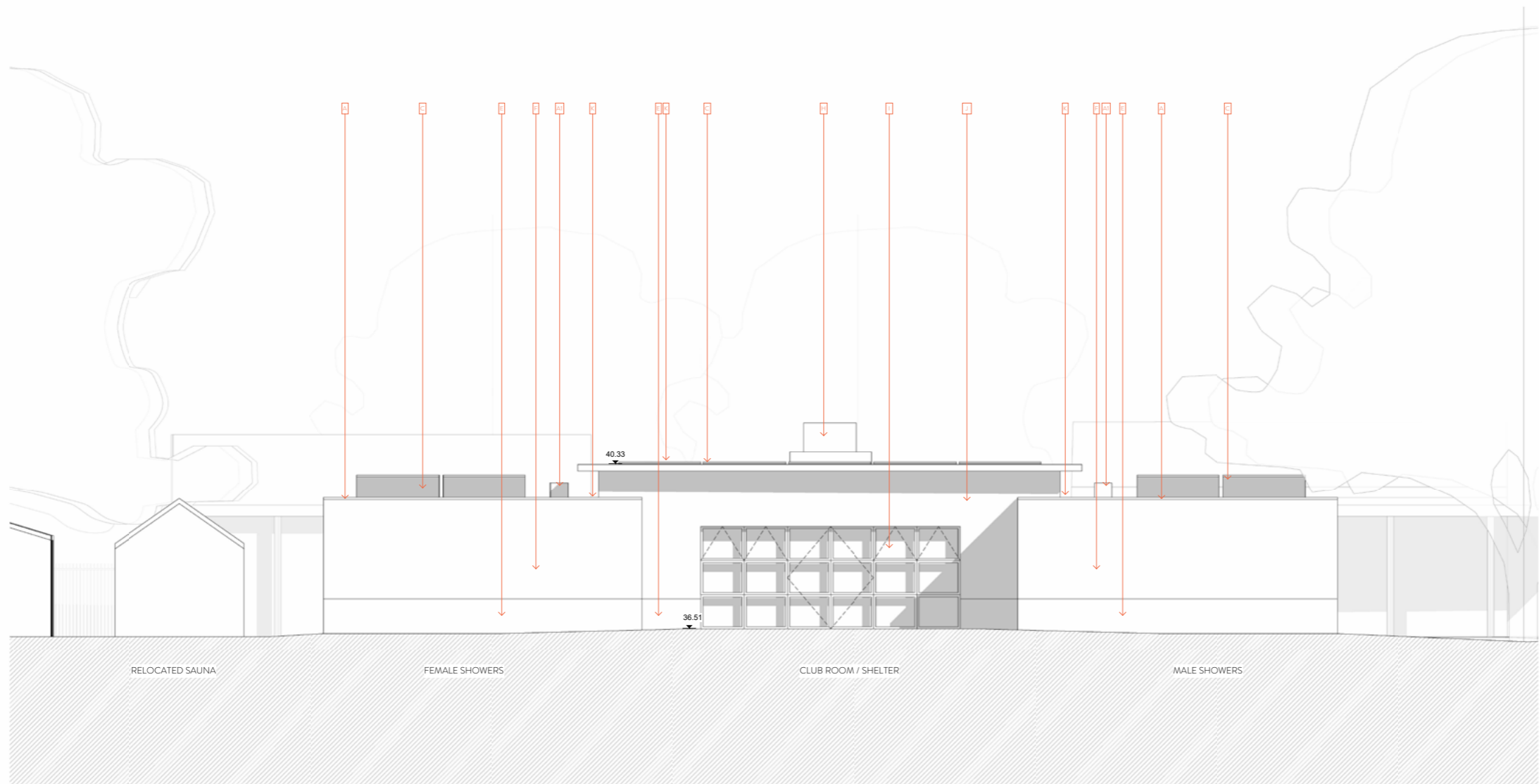
PROPOSED SOUTH ELEVATION - SHOWER & SHELTER BUILDING

Drawing Number
WRAP DRG A-A0170 1:50

Project Number
22007 FOR PLANNING

WRAP	DRG	A	A0170	P01
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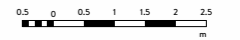


1 PROPOSED NORTH ELEVATION - SHOWER BLOCK - 1:50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A1 Metal parapet coping
- B1 Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
- H1 Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
- K Green roof
- L Single door with coloured panel above (yellow)
- M Single door with coloured panel above (red)
- N Single door with coloured panel above (blue)
- O Glazed green brick - running bond
- P Glazed green brick - vertical stack bond
- Q Timber 'bar'
- R Green frame with shutter
- S Integrated signage
- T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
- U Double loured door with coloured panel above (green)
- V Climbing cable planters
- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)



Rev	Description	Date	By	For
P01	For Planning	02/02/23	AH	WRAP

ORIGINAL BY AH



Client
SOUTH LONDON SWIMMING CLUB

Project
TOOTING BEC LIDO

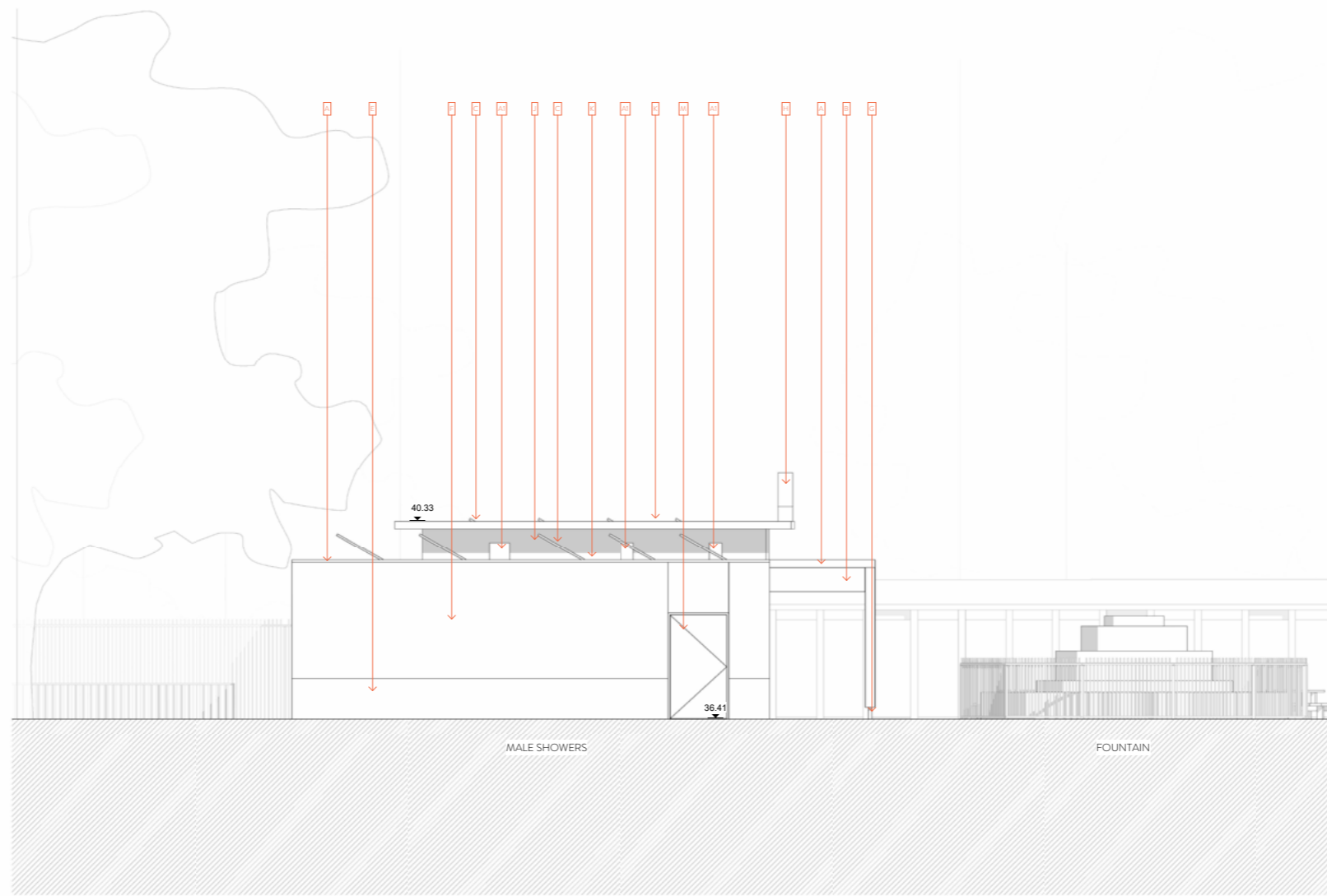
PROPOSED NORTH ELEVATION - SHOWER & SHELTER BUILDING

Drawing Number
WRAP DRG A A0171 Scale
1:50

Project Number
22007 Drawing Title
FOR PLANNING

WRAP	DRG	A	A0171	P01

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1 PROPOSED WEST ELEVATION - SHOWER BLOCK - 1.50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A1 Metal parapet coping
- B1 Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
- H1 Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
- K Green roof
- L Single door with coloured panel above (yellow)
- M Single door with coloured panel above (red)
- N Single door with coloured panel above (blue)
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- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)



Rev	Description	Date	By	Chk
001	For Planning	02/05/23	AH	MB

ORIGINAL BY AH



Client
SOUTH LONDON SWIMMING CLUB

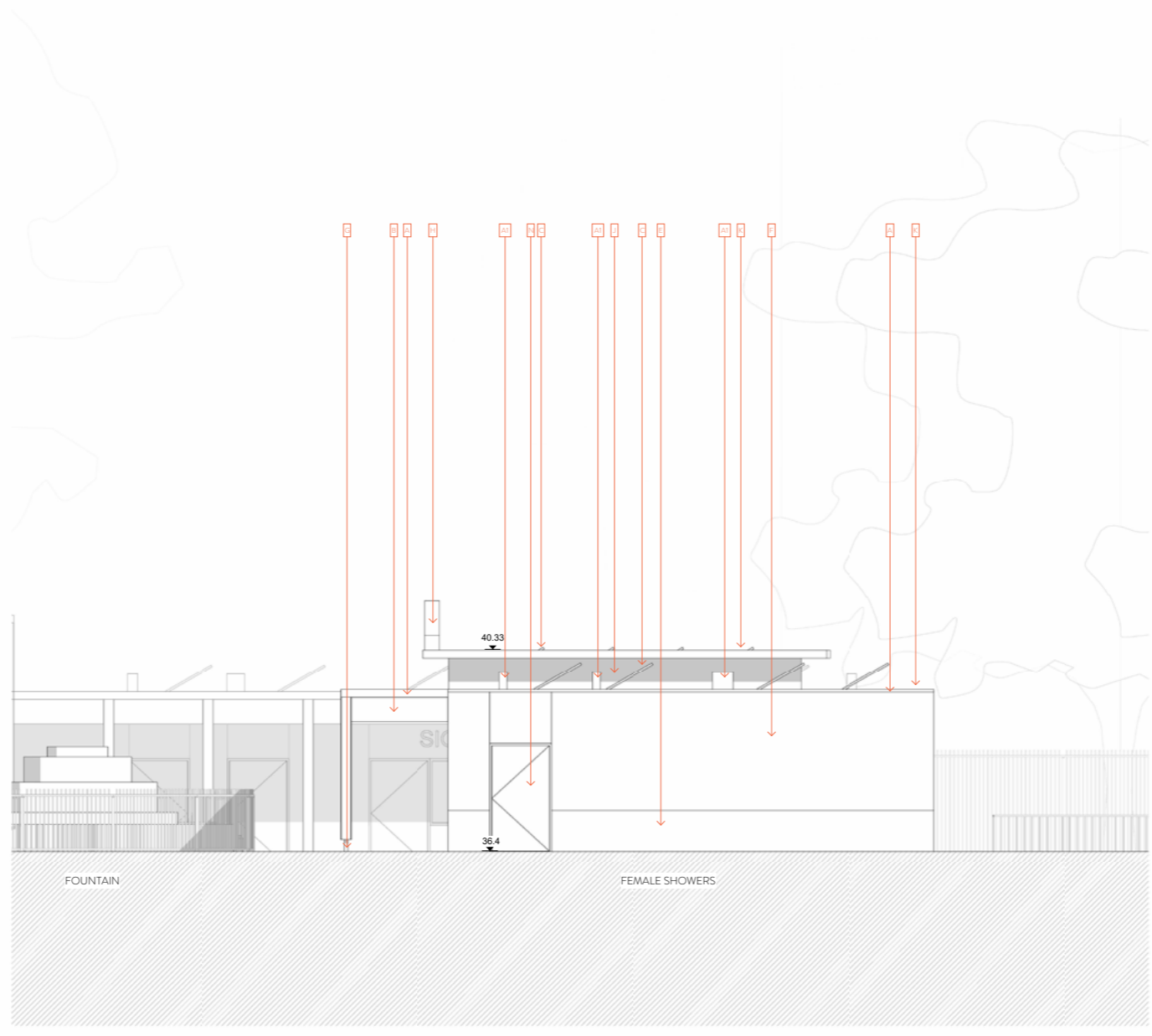
Project
TOOTING BEC LIDO

Proposed West Elevation - Shower & Shelter Building

Drawing Number
WRAP DRG A A0172 Scale
1:50

Project Number
22007 For Planning

WRAP	DRG	A	A0172	P01



1 PROPOSED EAST ELEVATION - SHOWER BLOCK - 1.50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A Metal parapet coping
- B Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
- H Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
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- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)

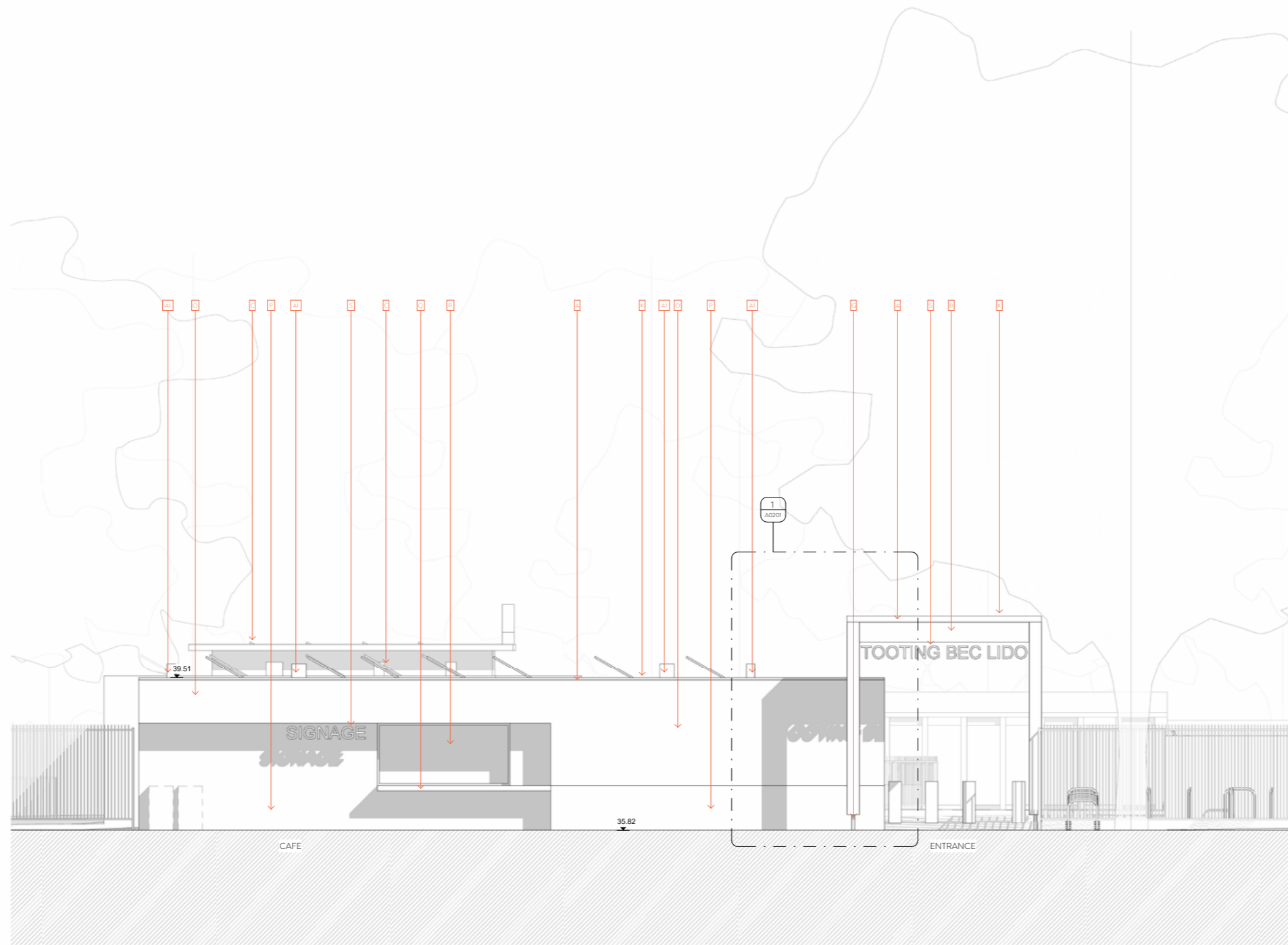


Rev	Description	Date	By	Chk
001	For Planning	02/02/23	AH	MB

ORIGINAL BY AH



Client	
SOUTH LONDON SWIMMING CLUB	
Project	
TOOTING BEC LIDO	
DRAWING TITLE	
PROPOSED EAST ELEVATION - SHOWER & SHELTER BUILDING	
Drawing Number	Scale
WRAP DRG A-A0173	1:50
Project Number	Phase
22007	FOR PLANNING
WRAP DRG	A
A0173	P01

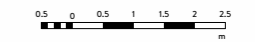


1 PROPOSED WEST ELEVATION- ENTRANCE BLOCK - 1:50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A1 Metal parapet coping
- B1 Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
- H Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
- K Green roof
- L Single door with coloured panel above (yellow)
- M Single door with coloured panel above (red)
- N Single door with coloured panel above (blue)
- O Glazed green brick - running bond
- P Glazed green brick - vertical stack bond
- Q Timber 'bar'
- R Green frame with shutter
- S Integrated signage
- T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
- U Double loured door with coloured panel above (green)
- V Climbing cable planters
- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)



Rev	Description	Date	By	Chk
P01	For Planning	02/02/23	AH	MB

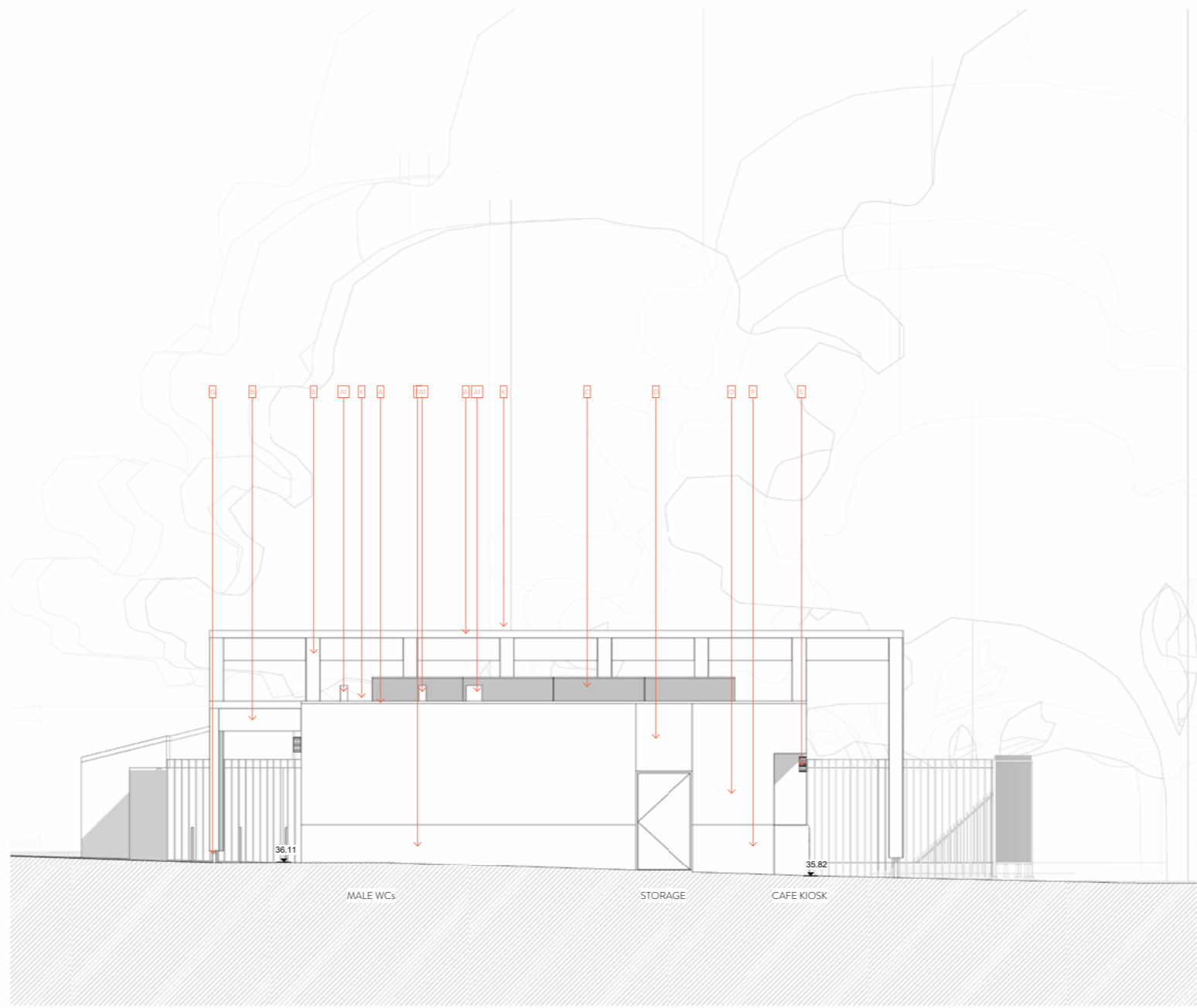
ORIGINAL BY AH



Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Building	PROPOSED WEST ELEVATION - ENTRANCE BUILDING
Scale	1:50
Drawing Number	WRAP DRG A-A0174
Project Number	22007
Phase	FOR PLANNING

WRAP	DRG	A	A0174	P01
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1 PROPOSED NORTH ELEVATION- ENTRANCE BLOCK - 150 @ A1

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PROPOSED ELEVATIONS LEGEND

- A1 Metal parapet coping
- B1 Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
- H1 Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
- K Green roof
- L Single door with coloured panel above (yellow)
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- N Single door with coloured panel above (blue)
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- U Double loured door with coloured panel above (green)
- V Climbing cable planters
- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)

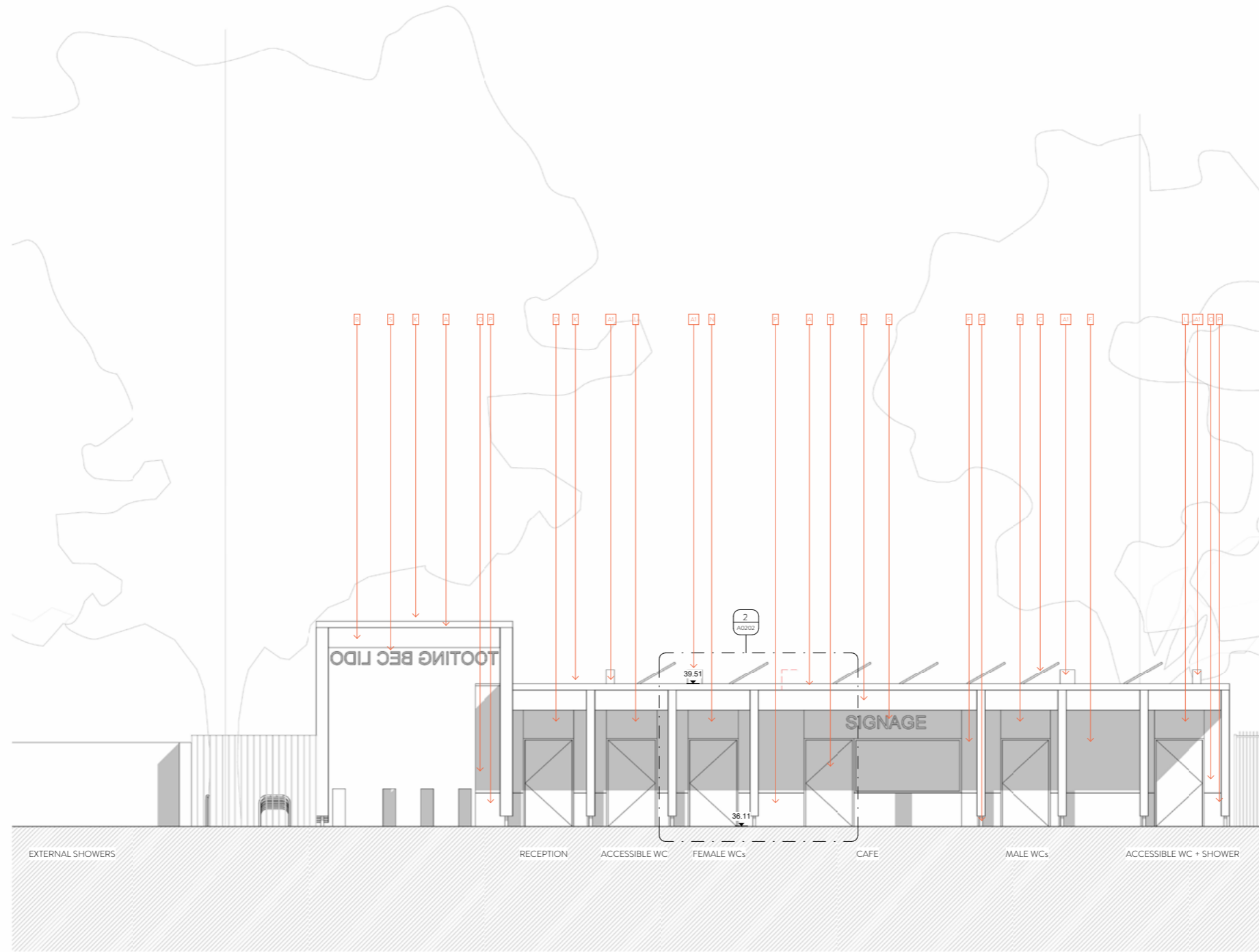


Rev	Description	Date	By	Chk
P01	For Planning	02/02/23	AH	MB

ORIGINAL BY AH



Client	
SOUTH LONDON SWIMMING CLUB	
Project	
TOOTING BEC LIDO	
DRAWING TITLE	
PROPOSED NORTH ELEVATION - ENTRANCE BUILDING	
Drawing Number	Scale
WRAP DRG A A0175	1:50
Project Number	FOR PLANNING
22007	
WRAP DRG	A A0175 P01



1 PROPOSED EAST ELEVATION- ENTRANCE BLOCK - 1:50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A1 Metal parapet coping
- B1 Timber colonnade
- C Photovoltaic solar panels (PVs)
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- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)

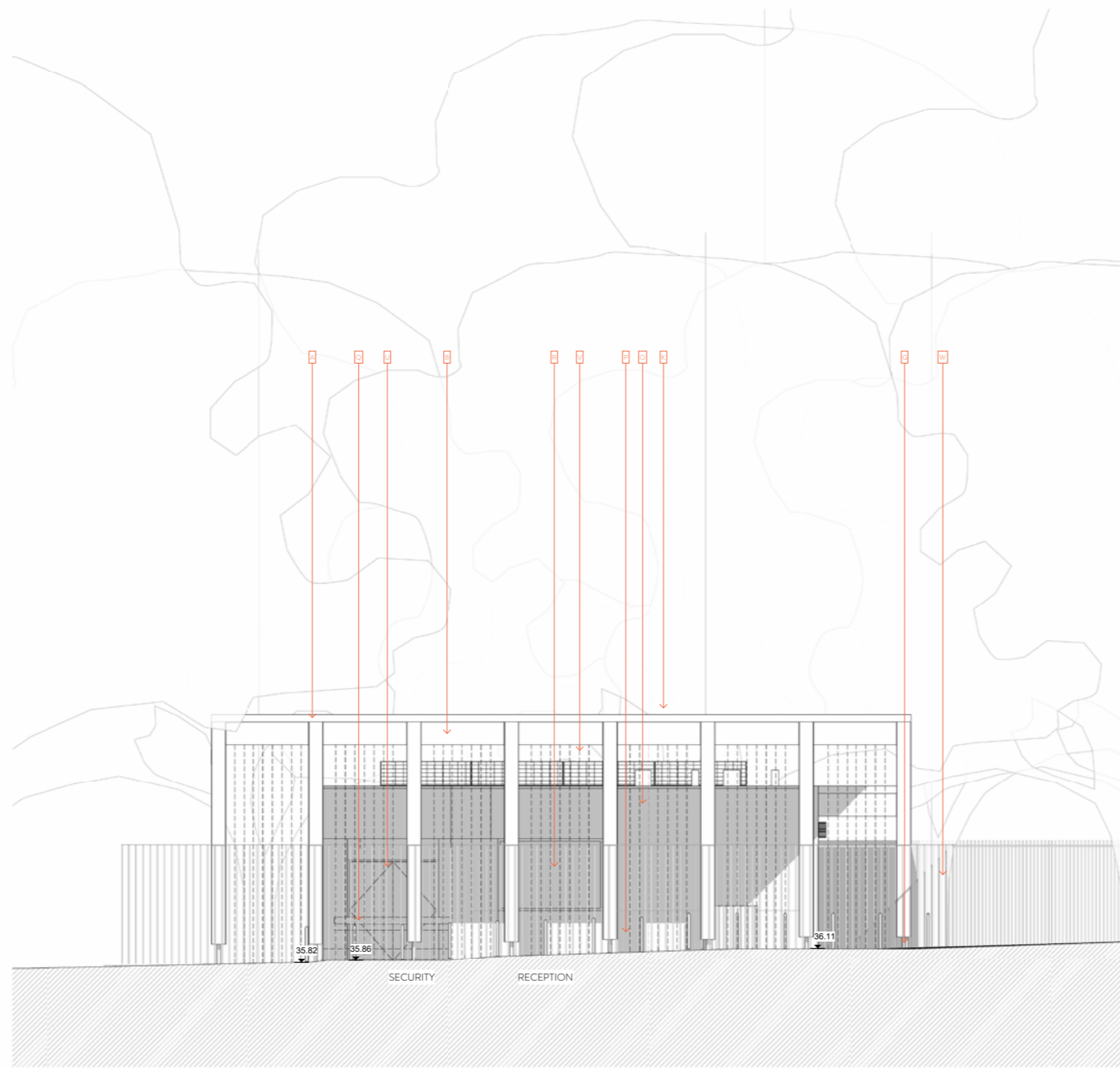


Rev	Description	Date	By	For
001	For Planning	02/02/23	AH	WRAP

ORIGINAL BY AH



Client			
SOUTH LONDON SWIMMING CLUB			
Project			
TOOTING BEC LIDO			
PROPOSED EAST ELEVATION - ENTRANCE BUILDING			
Drawing number		Scale	
WRAP DRG A- A0176		1:50	
Project number		Drawing title	
22007		FOR PLANNING	
WRAP DRG	A	A0176	P01



1 PROPOSED SOUTH ELEVATION- ENTRANCE BLOCK - 1:50 @ A1

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PROPOSED ELEVATIONS LEGEND

- A Metal parapet coping
- B Timber colonnade
- C Photovoltaic solar panels (PVs)
- D Single door with coloured panel above (green)
- E Glazed blue brick plinth
- F Light coloured render
- G Metal footing to colonnade
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- I Heritage range doors/windows
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- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)

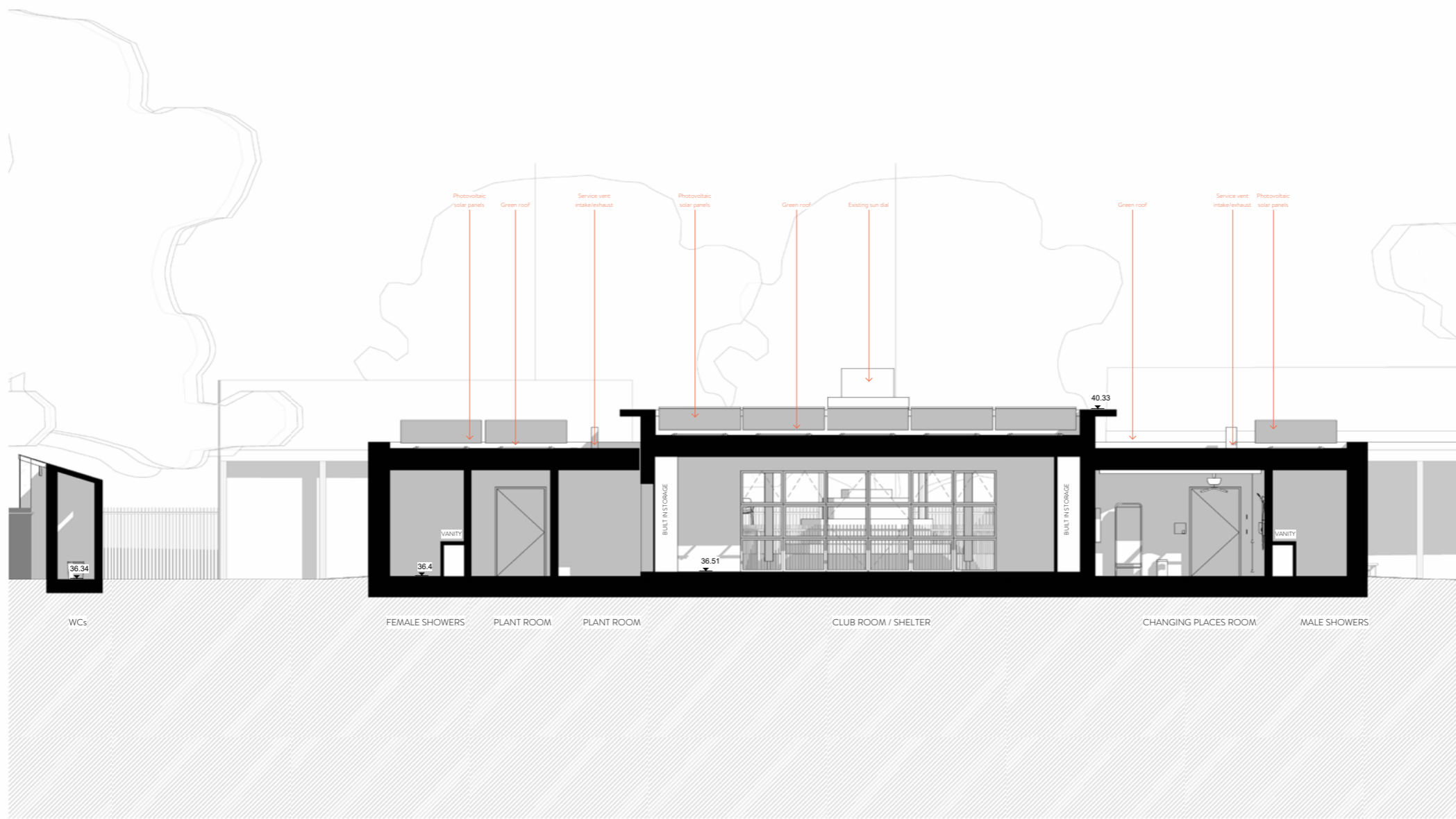


Rev	Description	Date	By	Chk
P01	For Planning	02/02/23	AH	MB

ORIGINAL BY AH



Client	
SOUTH LONDON SWIMMING CLUB	
Project	
TOOTING BEC LIDO	
PROPOSED SOUTH ELEVATION - ENTRANCE BUILDING	
Drawing Number	Scale
WRAP DRG A-A0177	1:50
Project Number	Phase
22007	FOR PLANNING
WRAP DRG	A
A0177	P01



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REV	DESCRIPTION	DATE	BY	CHK
001	FOR PLANNING	02/02/23	AH	MB

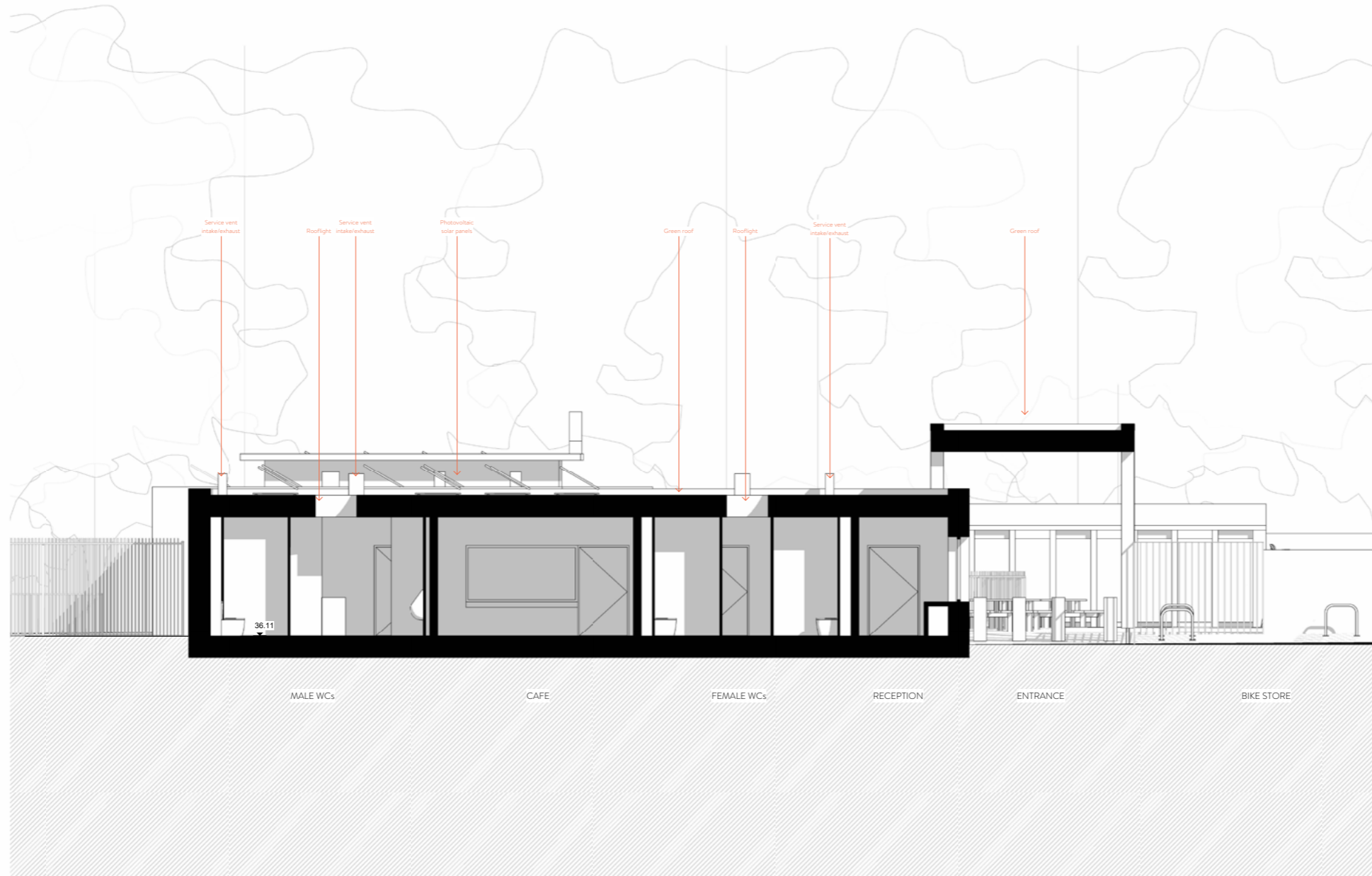
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Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Section	PROPOSED SECTION 1
Drawing Number	WRAP DRG A- A0180 1:50
Project Number	22007
Phase	FOR PLANNING
Scale	1:50
Author	AH
Checker	MB
Project Manager	MB
Client Representative	MB

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1 PROPOSED SECTION 1 - 1.50 @ A1



1 PROPOSED SECTION 3 - 1:50 @ A1

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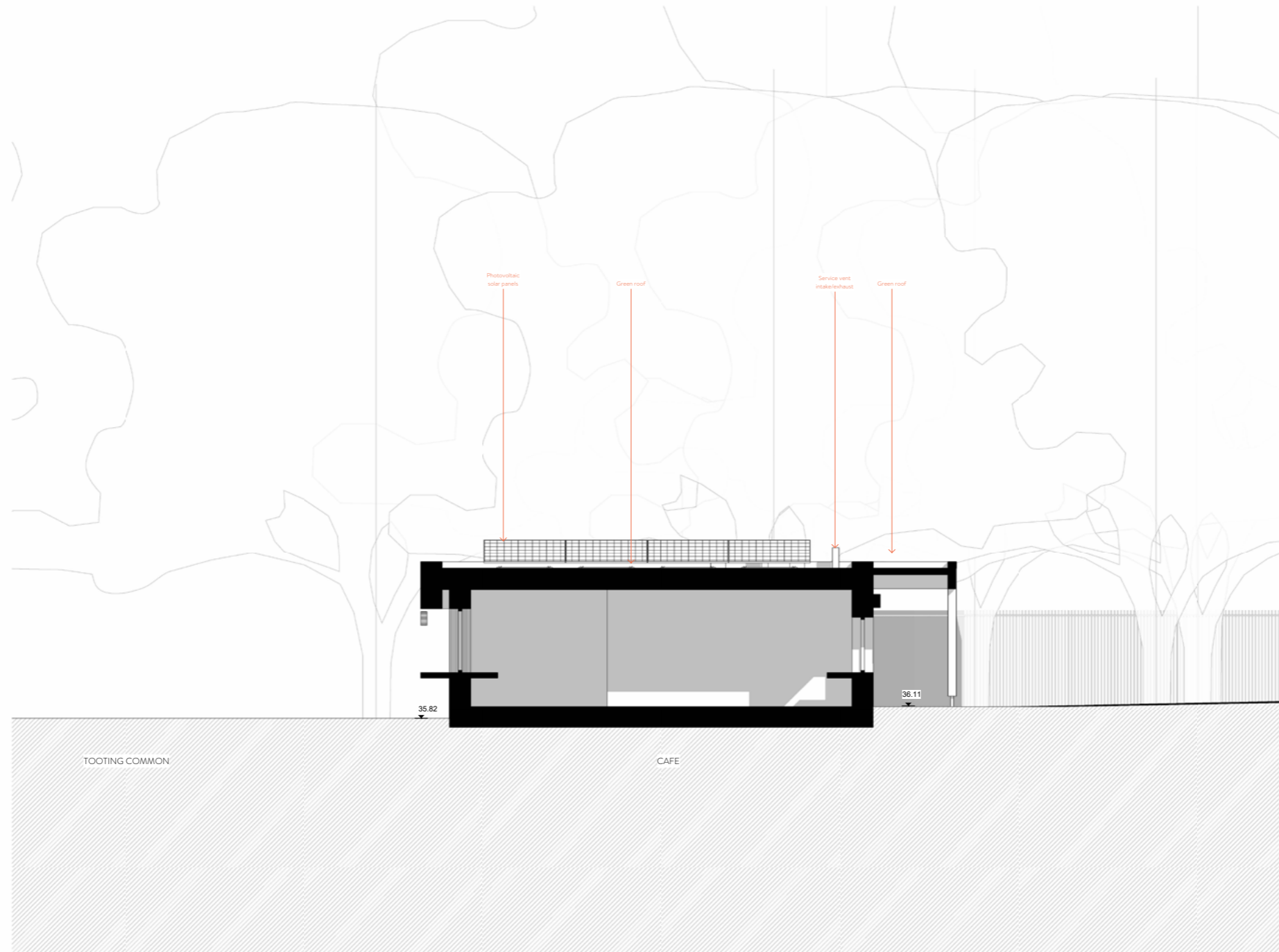


Rev	Description	Date	By	Chk
P01	For Planning	02/02/23	AH	MB

ORIGINAL BY AH



Client	
SOUTH LONDON SWIMMING CLUB	
Project	
TOOTING BEC LIDO	
Drawing	
PROPOSED SECTION 3	
Drawing Number	Scale
WRAP DRG A A0182	1:50
Project Number	Phase
22007	FOR PLANNING
WRAP DRG	A A0182 P01



1 PROPOSED SECTION 4 - 1:50 @ A1

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Rev	Description	Date	By	Chk
P01	For Planning	02/02/23	AH	MB

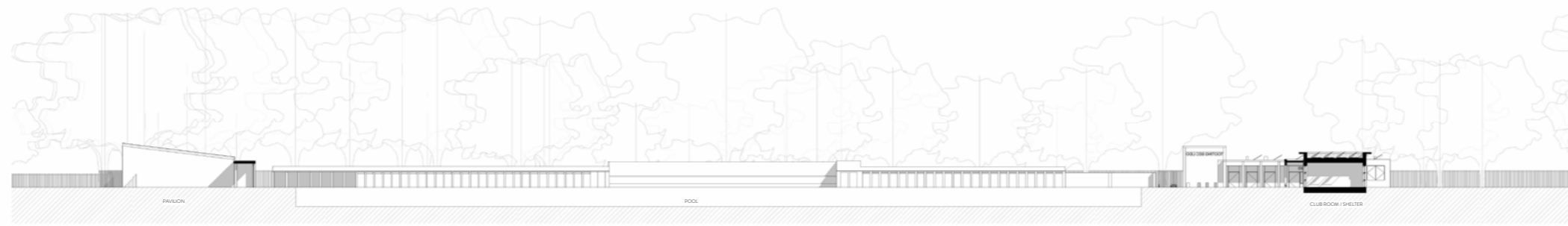
ORIGINAL BY AH



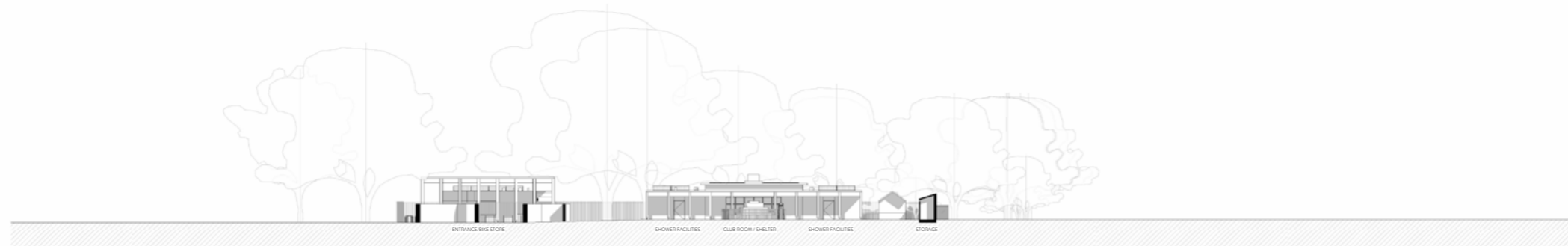
Client			
SOUTH LONDON SWIMMING CLUB			
Project			
TOOTING BEC LIDO			
Drawing Title			
PROPOSED SECTION 4			
Drawing Number		Scale	
WRAP DRG A- A0183		1:50	
Project Number		Drawing Status	
22007		FOR PLANNING	
WRAP	DRG	A	A0183
			P01



1 PROPOSED SITE SECTION A-A - 1:250 @ A1

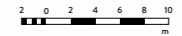


2 PROPOSED SITE SECTION B-B - 1:250 @ A1



3 PROPOSED SITE SECTION C-C - 1:250 @ A1

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 11. Topography data was produced by Awerth Survey Consultants.
 12. Measured building survey was produced by Castle Surveys. Internal walls shown on existing changing facilities indicative. Further surveys are required before commencement of works.

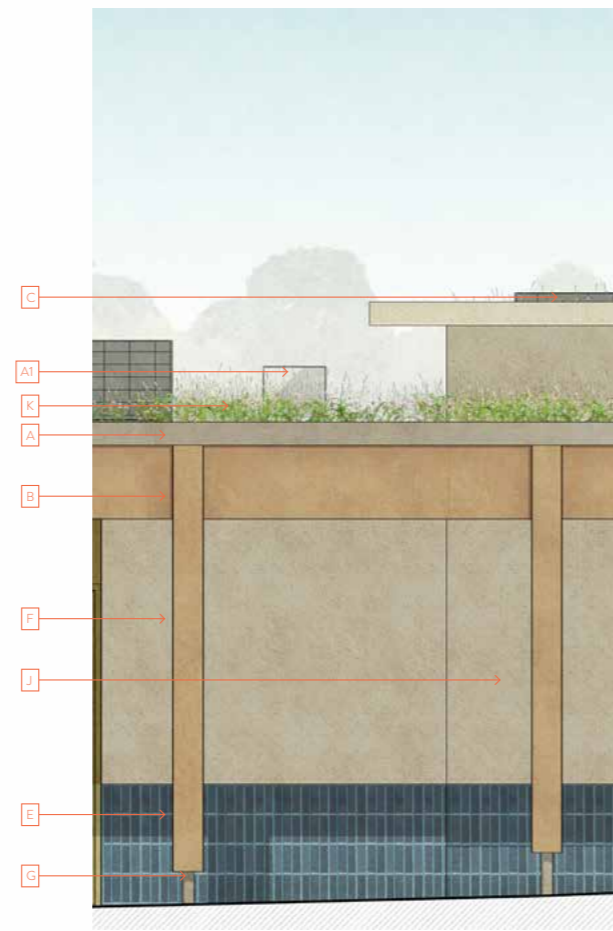


REV	DESCRIPTION	DATE	BY	CHK
P01	For Planning	02/05/23	AH	MB

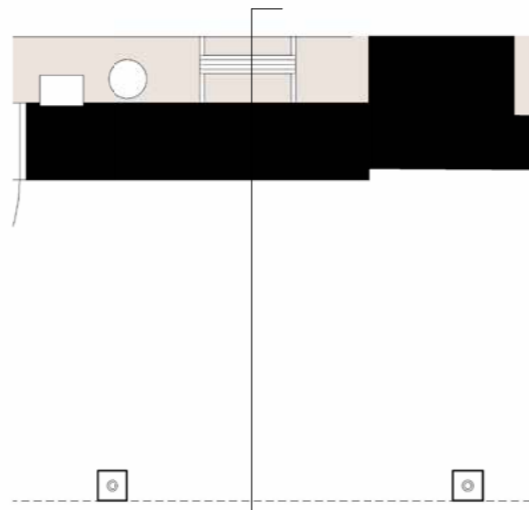
ORIGINAL BY AH



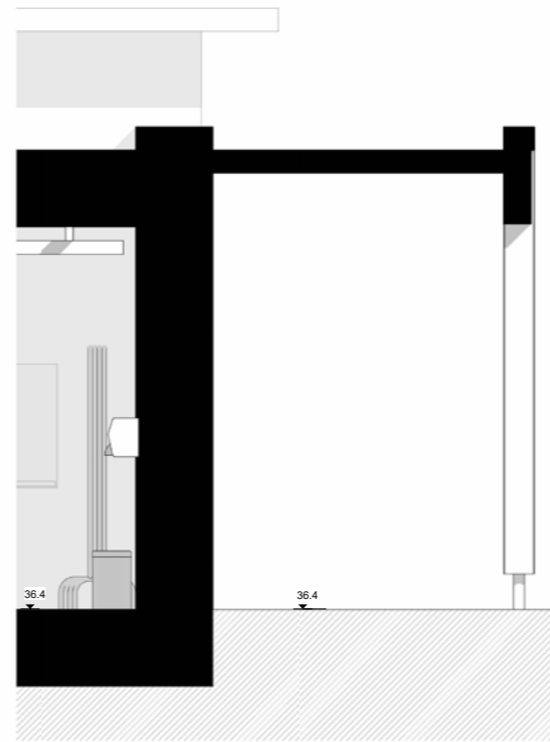
Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Section	PROPOSED SITE SECTIONS
Drawing Number	WRAP DRG A-A0184 1:250
Project Number	22007
Phase	FOR PLANNING
Author	WRAP DRG A-A0184 P01
Check	
Issue	



BAY STUDY 1 - ELEVATION - 1.20 @ A1



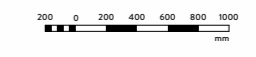
BAY STUDY 1 - PLAN - 1.20 @ A1



BAY STUDY 1 - SECTION - 1.20 @ A1

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 11. Topography data was produced by Awerth Survey Consultants
 12. Measured building survey was produced by Castle Surveys. Internal walls shown on existing changing facilities indicative. Further surveys are required before commencement of works.

- PROPOSED ELEVATIONS LEGEND**
- A Metal parapet coping
 - B1 Timber colonnade
 - K Photovoltaic solar panels (PVs)
 - A Single door with coloured panel above (green)
 - B Glazed blue brick plyth
 - F Light coloured render
 - J Metal footing to colonnade
 - E Existing sun dial - retained
 - G Heritage range doors/windows
 - F Light coloured render
 - X Green roof
 - L Single door with coloured panel above (yellow)
 - M Single door with coloured panel above (red)
 - N Single door with coloured panel above (blue)
 - O Glazed green brick - running bond
 - P Glazed green brick - vertical stack bond
 - Q Timber bar
 - R Green frame with shutter
 - S Integrated signage
 - T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
 - U Double loured door with coloured panel above (green)
 - V Climbing cable planters
 - W Railing
 - X Slate roof
 - Y Timber coloured door (red, yellow, green or blue) - to match existing
 - Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
 - A1 Service vent intake/exhaust
 - B1 Single loured door with coloured panel above (yellow)



Rev	Description	Date	By	Chk
001	For Planning	01/02/23	AH	AB

ORIGINAL BY AH



Client
SOUTH LONDON SWIMMING CLUB

Project
TOOTING BEC LIDO

Drawing
BAY STUDY 1

Drawing Number
WRAP DRG A-A0200As indicated

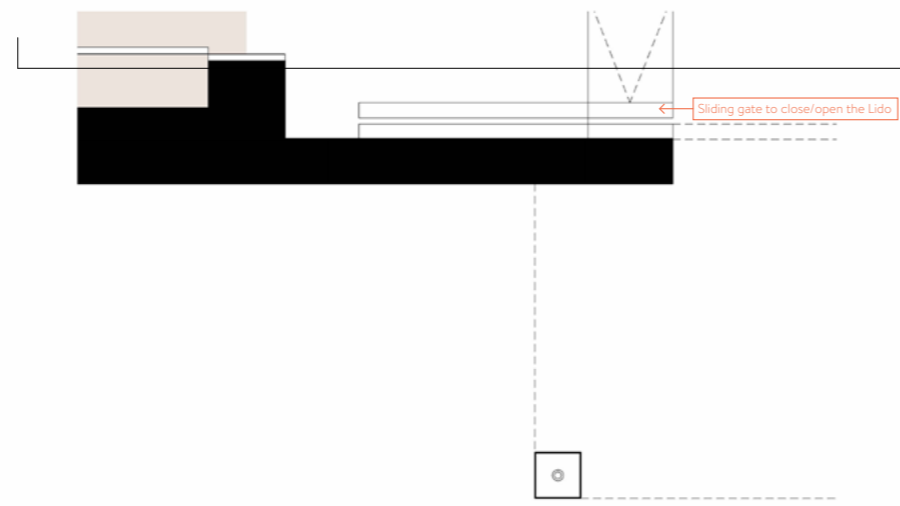
Project Number
22007 FOR PLANNING

WRAP DRG	A	A0200	P01

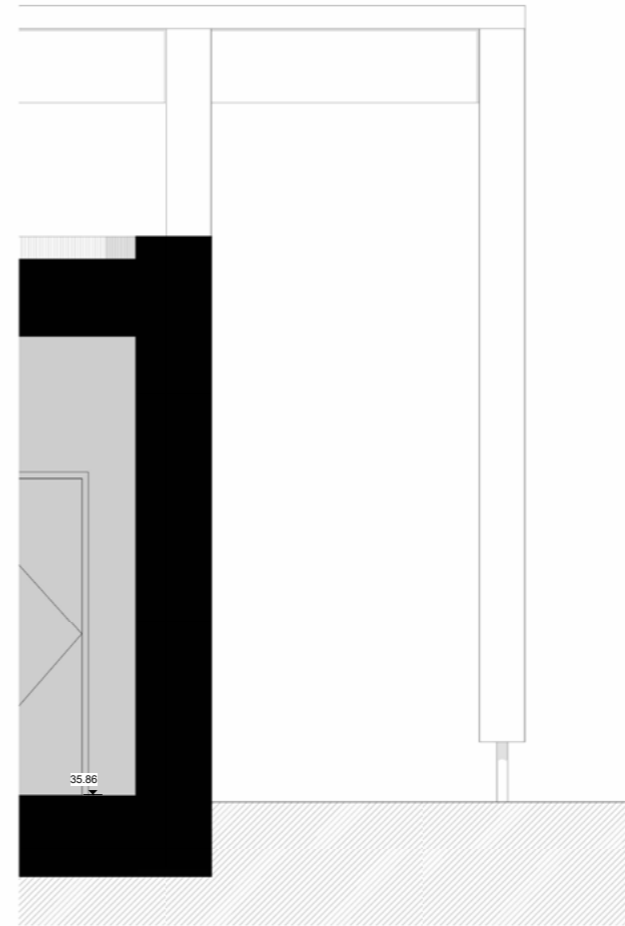
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BAY STUDY 2 - ELEVATION - 1.20 @ A1



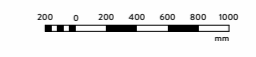
BAY STUDY 2 - PLAN - 1.20 @ A1



BAY STUDY 2 - SECTION - 1.20 @ A1

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 9. All foundations setting out info and all structural information to be taken from structural engineers documents.
 10. Final Fixing detailing and setting out for envelope to be developed by selected subcontractor in compliance with design intent and planning requirements.
 11. Topography data was produced by Awerth Survey Consultants.
 12. Measured building survey was produced by Castle Surveys. Internal walls shown on existing changing facilities indicative. Further surveys are required before commencement of works.

- PROPOSED ELEVATIONS LEGEND**
- A Metal parapet coping
 - B Timber colonnade
 - C Photovoltaic solar panels (PVs)
 - D Single door with coloured panel above (green)
 - E Glazed blue brick plyth
 - F Light coloured render
 - G Metal footing to colonnade
 - H Existing sun dial - retained
 - I Heritage range doors/windows
 - J Light coloured render
 - K Green roof
 - L Single door with coloured panel above (yellow)
 - M Single door with coloured panel above (red)
 - N Single door with coloured panel above (blue)
 - O Glazed green brick - running bond
 - P Glazed green brick - vertical stack bond
 - Q Timber bar
 - R Green frame with shutter
 - S Integrated signage
 - T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
 - V Double loured door with coloured panel above (green)
 - U Climbing cable planters
 - W Railing
 - X Slate roof
 - Y Timber coloured door (red, yellow, green or blue) - to match existing
 - Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
 - AA Service vent intake/exhaust
 - BB Single loured door with coloured panel above (yellow)

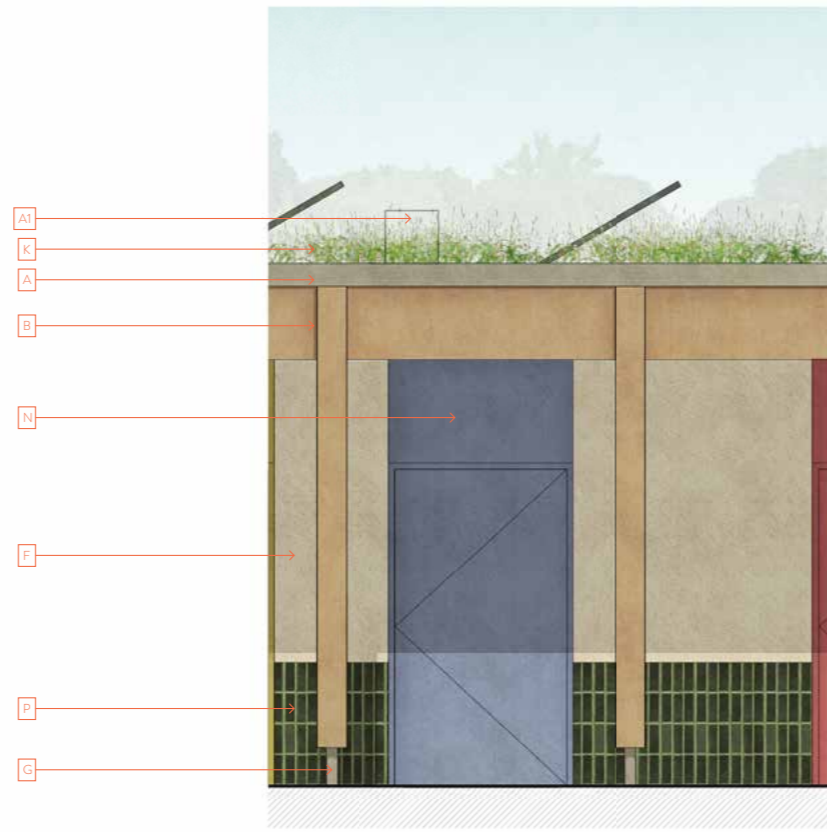


Rev	Description	Date	By	Chk
001	For Planning	02/02/23	AH	AB

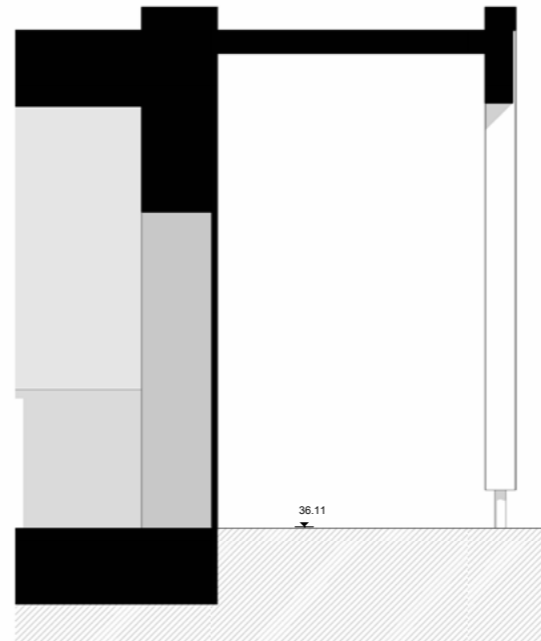
ORIGINAL BY AH



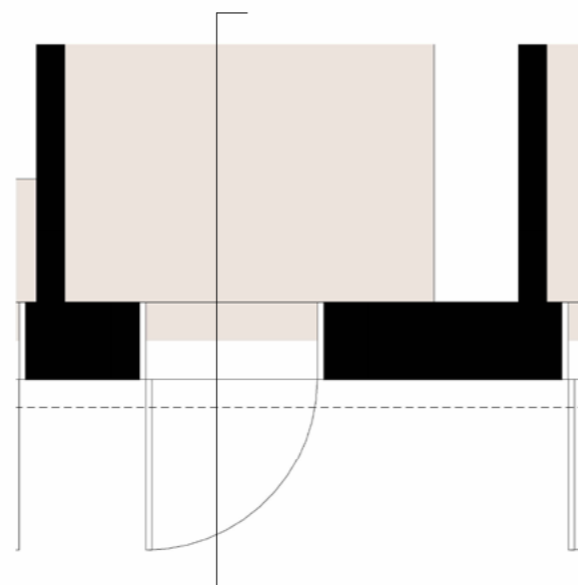
Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Drawing	BAY STUDY 2
Drawing Number	WRAP DRG A-A0201 As indicated
Project Number	22007 FOR PLANNING
Scale	As indicated
Author	AH
Checker	AB
Approver	



BAY STUDY 3 - ELEVATION - 1.20 @ A1



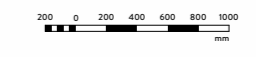
BAY STUDY 3 - SECTION - 1.20 @ A1



BAY STUDY 3 - PLAN - 1.20 @ A1

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 11. Topography data was produced by Awerth Survey Consultants
 12. Measured building survey was produced by Castle Surveys. Internal walls shown on existing changing facilities indicative. Further surveys are required before commencement of works.

- PROPOSED ELEVATIONS LEGEND**
- A Metal parapet coping
 - B Timber colonnade
 - C Photovoltaic solar panels (PV)
 - D Single door with coloured panel above (green)
 - E Glazed blue brick plyth
 - F Light coloured render
 - G Metal footing to colonnade
 - H Existing sun dial - retained
 - I Heritage range doors/windows
 - J Light coloured render
 - K Green roof
 - L Single door with coloured panel above (yellow)
 - M Single door with coloured panel above (red)
 - N Single door with coloured panel above (blue)
 - O Glazed green brick - running bond
 - P Glazed green brick - vertical stack bond
 - Q Timber bar
 - R Green frame with shutter
 - S Integrated signage
 - T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
 - U Double loured door with coloured panel above (green)
 - V Climbing cable planters
 - W Railing
 - X Slate roof
 - Y Timber coloured door (red, yellow, green or blue) - to match existing
 - Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
 - A1 Service vent intake/exhaust
 - B1 Single loured door with coloured panel above (yellow)



Rev	Description	Date	By	Chk
001	For Planning	01/05/23	AH	AB



Client
SOUTH LONDON SWIMMING CLUB

Project
TOOTING BEC LIDO

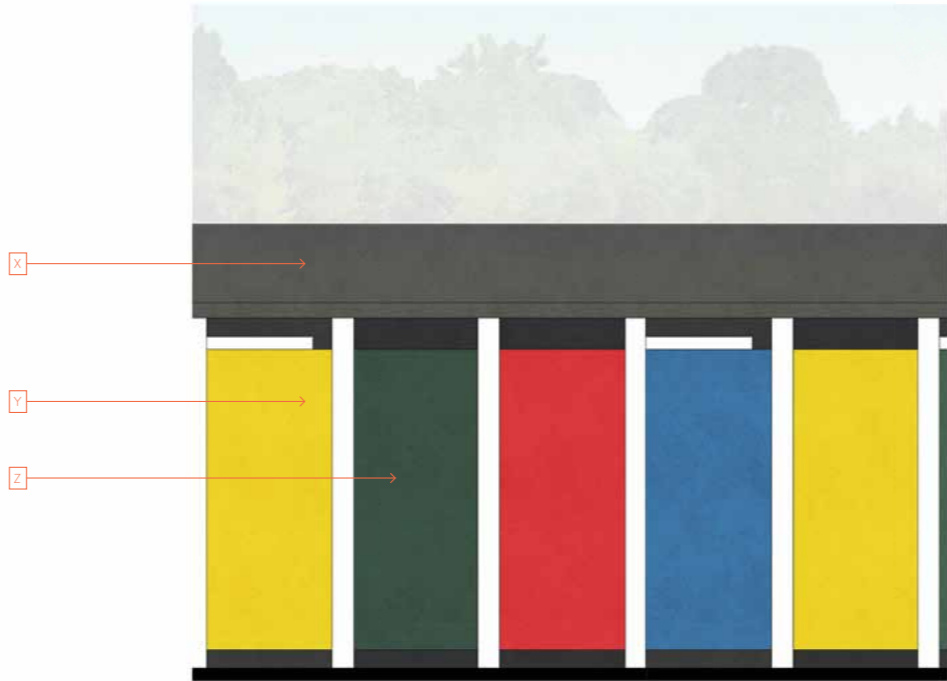
Drawing Number
BAY STUDY 3

Drawing Title
WRAP DRG A- A0202 As indicated

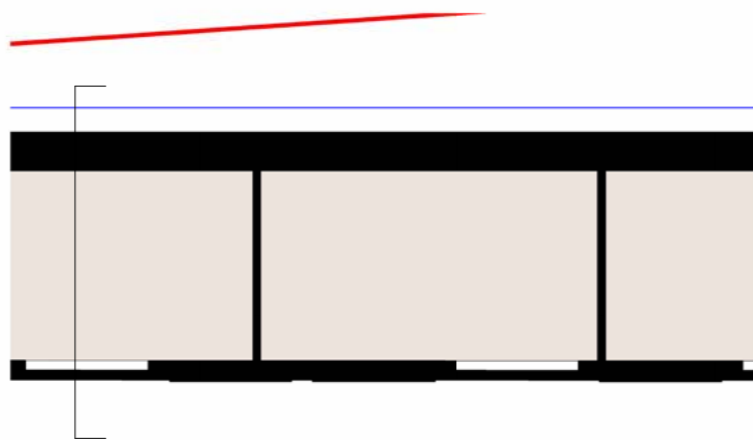
Drawing Number
22007

Drawing Title
FOR PLANNING

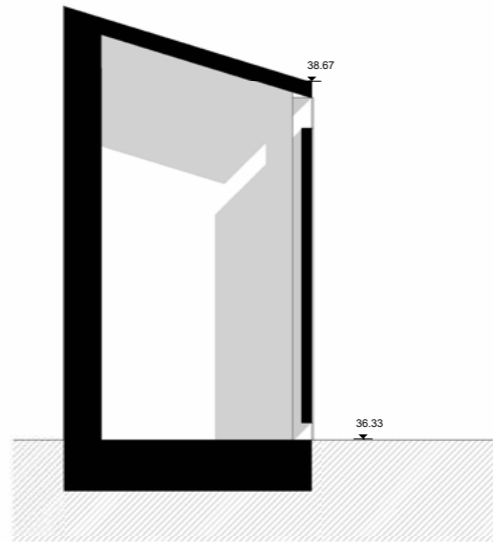
WRAP	DRG	A	A0202	P01



BAY STUDY 4 - ELEVATION - 1.20 @ A1



BAY STUDY 4 - PLAN - 1.20 @ A1

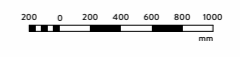


BAY STUDY 4 - SECTION - 1.20 @ A1

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PROPOSED ELEVATIONS LEGEND

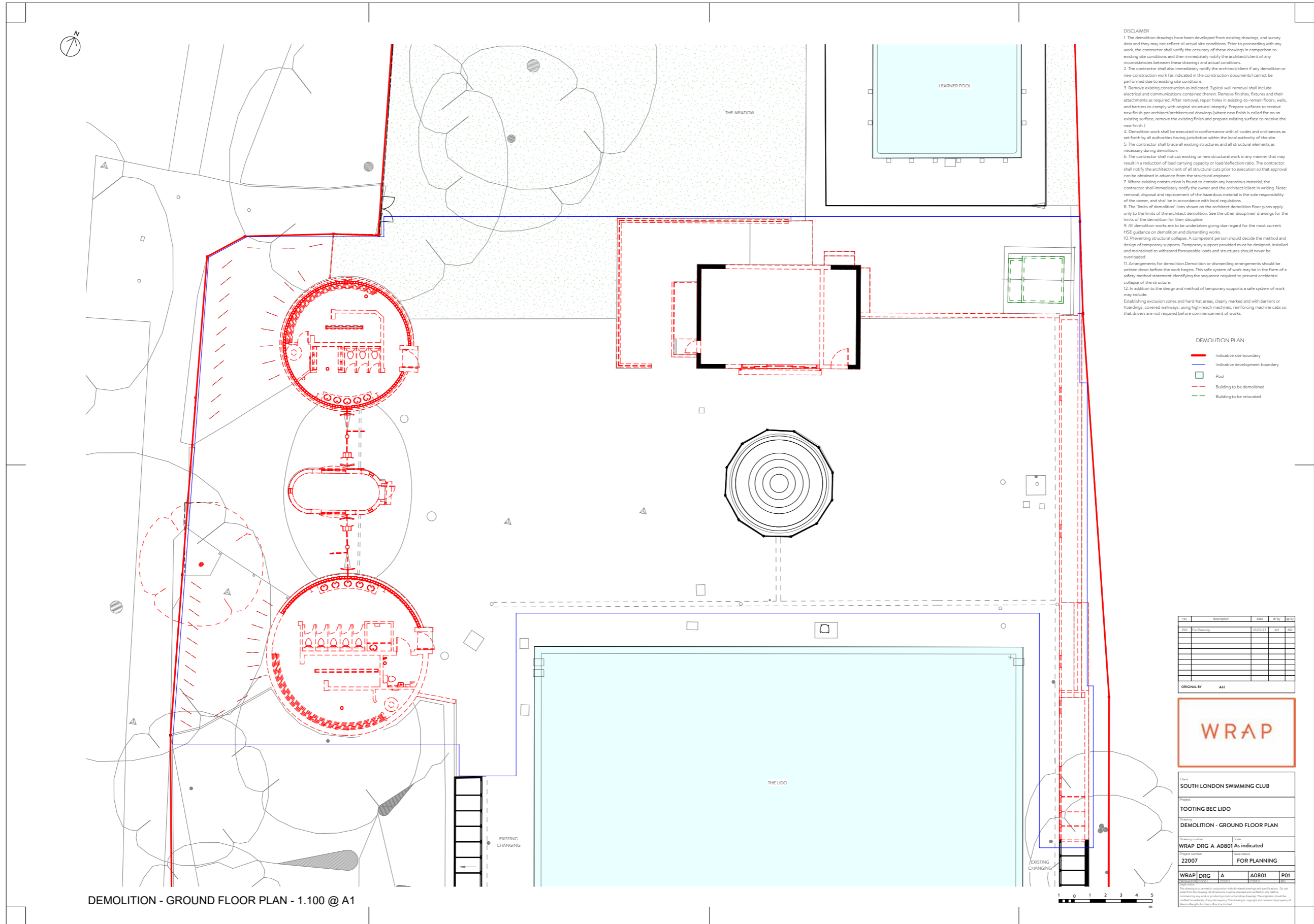
- A Metal parapet coping
- B Timber colonnade
- C Photovoltaic solar panels (PVs)
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- E Glazed blue brick plyth
- F Light coloured render
- G Metal footing to colonnade
- H Existing sun dial - retained
- I Heritage range doors/windows
- J Light coloured render
- K Green roof
- L Single door with coloured panel above (yellow)
- M Single door with coloured panel above (red)
- N Single door with coloured panel above (blue)
- O Glazed green brick - running bond
- P Glazed green brick - vertical stack bond
- Q Timber 'bar'
- R Green frame with shutter
- S Integrated signage
- T Single door with coloured panel above (red) and cafe opening with red frame and shutter with coloured panel below
- U Double loured door with coloured panel above (green)
- V Climbing cable planters
- W Railing
- X Slate roof
- Y Timber coloured door (red, yellow, green or blue) - to match existing
- Z Fixed timber panelling (red, yellow, green or blue) - to match existing timber doors
- A1 Service vent intake/exhaust
- B1 Single loured door with coloured panel above (yellow)

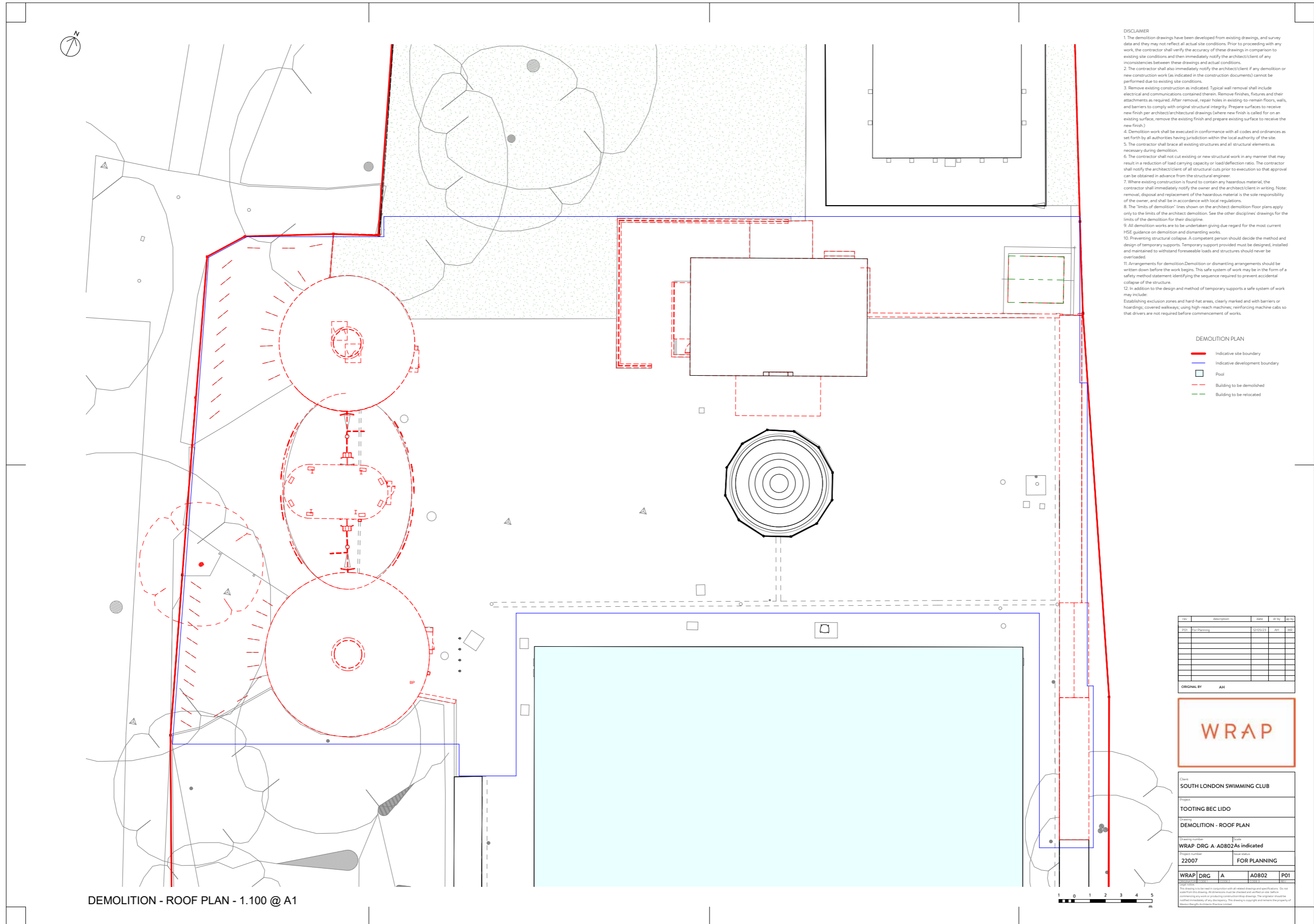


Rev	Description	Date	By	Chk
001	For Planning	01/05/23	AH	AB



Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Drawing Title	BAY STUDY 4
Drawing Number	WRAP DRG A-A0203 As indicated
Project Number	22007 FOR PLANNING
Project Name	WRAP DRG A A0203 P01

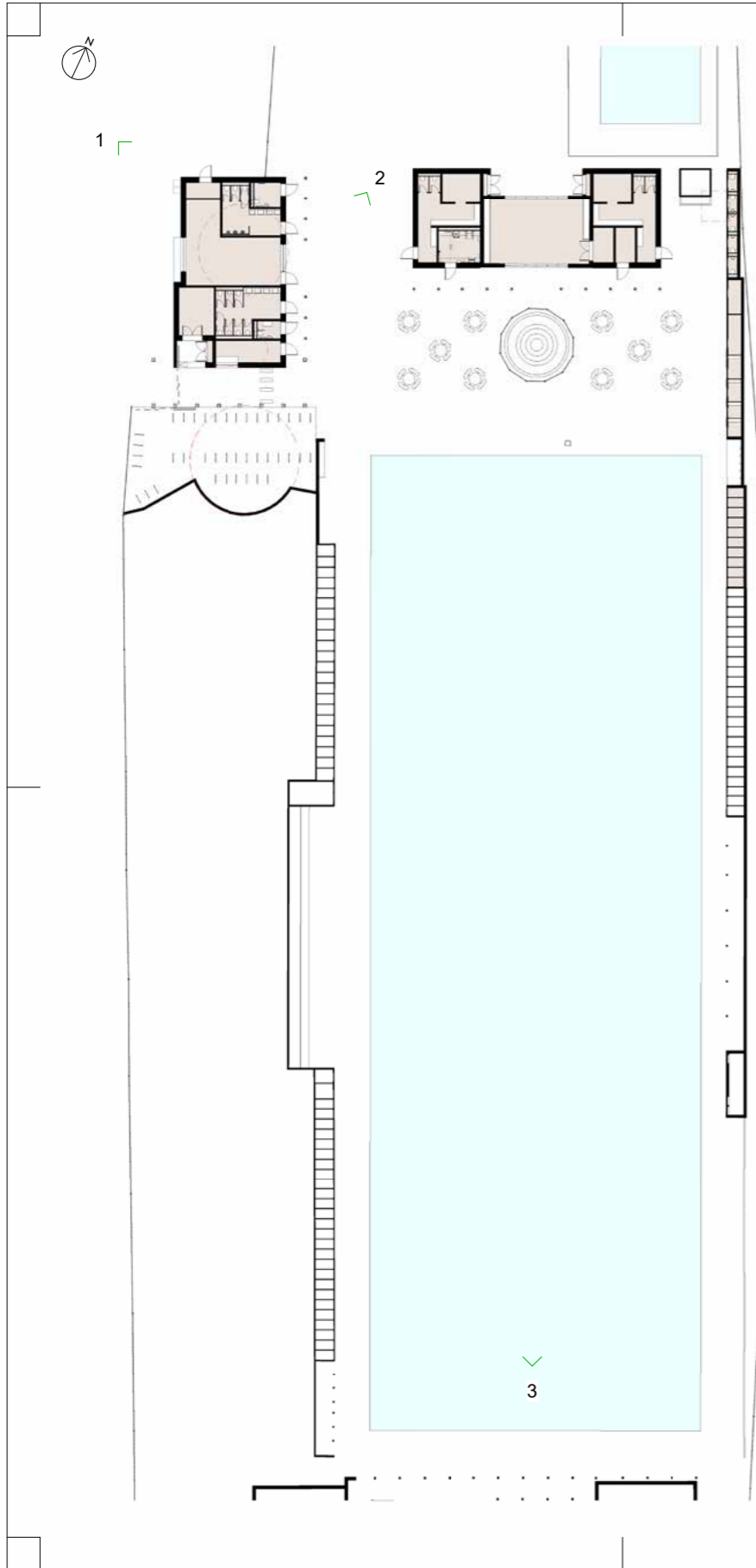




DISCLAIMER

- The demolition drawings have been developed from existing drawings, and survey data and they may not reflect actual site conditions. Prior to proceeding with any work, the contractor shall verify the accuracy of these drawings in comparison to existing site conditions and then immediately notify the architect/client of any inconsistencies between these drawings and actual conditions.
- The contractor shall also immediately notify the architect/client if any demolition or new construction work (as indicated in the construction documents) cannot be performed due to existing site conditions.
- Remove existing construction as indicated. Typical wall removal shall include electrical and communications contained therein. Remove finishes, fixtures and their attachments as required. After removal, repair holes in existing to remain floors, walls, and barriers to comply with original structural integrity. Prepare surfaces to receive new finish per architect/architectural drawings (where new finish is called for on an existing surface, remove the existing finish and prepare existing surface to receive the new finish.)
- Demolition work shall be executed in conformance with all codes and ordinances as set forth by all authorities having jurisdiction within the local authority of the site.
- The contractor shall brace all existing structures and all structural elements as necessary during demolition.
- The contractor shall not cut existing or new structural work in any manner that may result in a reduction of load carrying capacity or load/deflection ratio. The contractor shall notify the architect/client of all structural cuts prior to execution so that approval can be obtained in advance from the structural engineer.
- Where existing construction is found to contain any hazardous material, the contractor shall immediately notify the owner and the architect/client in writing. Note: removal, disposal and replacement of the hazardous material is the sole responsibility of the owner, and shall be in accordance with local regulations.
- The "limits of demolition" lines shown on the architect demolition floor plans apply only to the limits of the architect demolition. See the other disciplines' drawings for the limits of the demolition for their discipline.
- All demolition work is to be undertaken giving due regard for the most current HSE guidance on demolition and dismantling works.
- Preventing structural collapse. A competent person should decide the method and design of temporary supports. Temporary support provided must be designed, installed and maintained to withstand foreseeable loads and structures should never be overloaded.
- Arrangements for demolition or dismantling arrangements should be written down before the work begins. This safe system of work may be in the form of a safety method statement identifying the sequence required to prevent accidental collapse of the structure.
- In addition to the design and method of temporary supports a safe system of work may include:
 - Establishing exclusion zones and hard hat areas, clearly marked and with barriers or hoarding; covered walkways; using high-reach machines; reinforcing machine cabs so that drivers are not required before commencement of works.

DEMOLITION - ROOF PLAN - 1.100 @ A1



1. VIEW OF ENTRANCE



2. VIEW OF CAFE KIOSK AND POOL



3. VIEW OF PROPOSALS FROM THE POOL

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REV	DESCRIPTION	DATE	BY	CHK
P01	For Planning	03/05/23	AH	AB

ORIGINAL BY: AH



Client	SOUTH LONDON SWIMMING CLUB
Project	TOOTING BEC LIDO
Drawing Title	ARTIST IMPRESSIONS
Drawing Number	WRAP GA - A - A08501 : 250
Project Number	22007
Drawing Purpose	FOR PLANNING
Author	WRAP GA
Checker	A
Approver	A0850
Date	P01

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THANK YOU

WESTON RENGIFO – ARCHITECTS PRACTICE

15 Teddington Business Park | Teddington TW11 9BQ
Studio : +44 (020) 8050 5107
wr-ap.com

Sean Weston
Director
+44 (0)7788 513 445

Max Rengifo
Director
+44 (0)7952 706 165

The logo for WRAP Architects Practice, consisting of the letters 'WRAP' in a white, uppercase, sans-serif font, centered within a white rectangular border on a dark orange background.

WRAP